



101 Lucas Valley Road, Suite 300  
San Rafael, CA 94903  
Tel.: 415-472-1734  
Fax: 415-499-7715  
www.LGVSD.org

**MANAGEMENT TEAM**  
General Manager, Curtis Paxton  
Plant Operations, Mel Liebmann  
Collections/Safety/Maintenance, Greg Pease  
Engineering, Michael P. Cortez  
Administrative Services, Dale McDonald

**DISTRICT BOARD**  
Megan Clark  
Ronald Ford  
Craig K. Murray  
Gary E. Robards  
Crystal J. Yezman

## ADDENDUM NO. 1

Date: September 28, 2023  
Project: Multipurpose Laboratory Building  
Job No.: 24600-01

To: All Planholders and Prospective Bidders

The following changes and/or clarifications are hereby made to the Request for Proposals and shall become a part of the RFP dated August 28, 2023.

1. Potholing or Subsurface Investigation – No potholing information is currently available. Proposers shall present a project approach by assuming information shown on the as-built drawings is correct.
2. Sea Level Rise – For the purpose of presenting a representative building, the selected consultant shall use finished first floor elevation of 18.0'. Proposers shall include in the approach a description of how to blend the building surroundings at existing ground elevation of 14'± in respect to ADA compliance and the future underground ultraviolet (UV) piping shown in Attachment 1 of this addendum.
3. Chlorine Contact Chamber (CCC) Piping – For purpose of submitting a proposal, proposers shall assume the proposed building would need to encroach into the existing underground CCC piping area shown in Exhibit 2 of the RFP which would require soil stabilization and building foundation on grade beams supported by piles. Proposers are not required to present a detailed design of the building foundation; however, shall provide a brief description of the foundation and include the name of the geotechnical and structural firms in the proposal.
4. Lab Office – The District has current staffing of two full-time employees for the lab department. The selected consultant shall include a design of multi-purpose office space that may serve one additional person, such as consultant.
5. As-Built Drawings for Existing Lab Building – See Attachment 2 of this addendum.
6. Existing Lab Building – District preference is to keep the existing lab building operational during construction. However, after the pre-proposal meeting, District staff evaluated proposers' concern that it may be impossible to keep the existing lab functional during construction. The selected consultant shall present a minimum of two representative buildings: 1) demolish the existing building and rent a temporary office trailer for the lab; 2) keep the existing lab during construction.
7. Number of Employees – The District anticipates having a total of 31 full-time employees. The selected consultant shall design the Boardroom with enough space to accommodate all 31 employees, five Board members, and appropriate space for future growth.

8. Availability of Biogas/Natural Gas – Proposers shall assume that no digester gas or natural gas will be available on site to generate heat for the proposed lab building. The selected consultant shall attempt to optimize renewable energy for all electrical and mechanical needs of the building. Proposers shall discuss the approach in the proposal.
9. Solar Power System – Proposers shall include installation of off-grid standalone solar panels for power generation at the new lab building, such as rooftop installation, in the proposal. The District is in the process of upgrading its solar photovoltaic system in the Reclamation Area to generate power for the treatment facilities unrelated to the new lab building.
10. Electric Vehicle (EV) Parking – The selected consultant shall consult the appropriate planning and building department guidelines for the number of EV or clean energy charging stations required in the proposed parking lot.
11. Lab Design Project References – Proposers shall include experience on laboratory design projects for wastewater or water treatment facilities in the reference section of the proposal. The District may not review or consider unrelated references, such as medical or electronics laboratory.
12. Geotechnical Reports – See Exhibit 3 of the RFP for geotechnical reports. No additional reports are available.
13. Hazardous Materials – The selected consultant shall be prepared to develop proper hazardous materials disposal guidelines and include a survey for the existing lab building to identify asbestos, lead, and other hazardous materials.
14. Project Schedule – Assuming the project would require City planning approval and building permit, the selected consultant shall simultaneously design and apply for the necessary permits during the 9-month design phase. The District may consider extending the design duration for a more feasible schedule pending permit application timeline, if necessary.
15. Value Engineering – Proposers shall not include an allowance for value engineering in the proposal. However, the District may elect to add value engineering in the design scope as a contract amendment if deemed necessary for grant application and other purposes.
16. Proposal Page Limit – The page limit for the proposal is 15 pages, including resumes and project references. Fee schedule may be on a separate 11” x 17” sheet. Cover page, cover letter, and fee schedule are exempt from the maximum 15-page limit.
17. Planning and Building Permits – According to Government Code §53091(d), building ordinances of a county or city shall not apply to the location or construction of facilities for the production, generation, storage, treatment, or transmission of water, wastewater, or electrical energy by a local agency. In addition, LGVSD is zoned Public/Quasi-Public District (P/QP). The selected consultant shall discuss anticipated planning and building permit requirements for the proposed lab building as it relates to the Government Code §53091(d) and pertinent City ordinance sections.

**Questions Received from Proposers:**

*The following questions were submitted before 9/28/2023. Questions that are received after the RFP question deadline may not be answered in an addendum. LGVSD responses to the questions are in bold.*

- Q1. 6.0 Proposal Requirements and Contents has conflicting information on the page limit. Is the page limit 10 or 15 pages? Are resumes included in the page limit? If so, are you expecting full resumes for the Prime Consultant team and resumes for all Sub Consultants?

**Response: See Item No. 16 above. Proposers shall include resumes highlighting relevant projects for key members of the project team.**

- Q2. Scope item E describes Bidding Phase Services only. Please clarify Construction Phase services vs. Construction Management and Inspection Services listed in section F. Do you require a full-time on-site construction manager that acts on behalf of the District?

**Response: Construction Phase Services are related to technical questions that would need to be addressed by the design architect during construction, such as providing responses to RFI's and submittals. Construction Management and Inspection Services refer to a full-time on-site construction manager and/or inspector acting on behalf of the District to interact with the contractor during construction, including but not limited to inspections, conducting progress meetings, and document control.**

- Q3. Seeing that questions aren't due until the 28th and the proposal is due on the 5th, would you consider answering questions before the 28th or extending the due date out a week?

**Response: The proposal deadline will not be extended unless otherwise noted via another addendum.**

- Q4. 'Maximum Number of Pages: 15 single-sided pages including resumes and list of sample projects. Fee schedule may be on a separate 11" x 17" sheet. Cover page, cover letter, and fee schedule are exempt from the maximum 10-page limit'. Please confirm the maximum number of pages, 10 or 15?

**Response: See Item No. 16 above.**

- Q5. Are Hourly Rates required for the prime and for the subconsultants?

**Response: Yes, the information can be included on the separate 11" x 17" fee schedule.**

- Q6. Is it possible to change the 15-page limit to exclude the Key Personnel resumes? Or include resumes in an appendix section that does not count to the 15-page limit?

**Response: See Item No. 16 above.**

- Q7. Will you be sending out a mass answer to all asked questions after the 9/28 deadline? Will you be sending our periodic answers?

**Response: The District anticipates this addendum should provide clarifications to all questions received during the pre-proposal meeting and before 9/28. Questions received on 9/28 will be answered in the future addendum.**

Q8. Who is the Authority Having Jurisdiction (A.H.J.) over this project? City of San Rafael?

**Response: See Item No. 17 above.**

Q9. Who will be the CEQA Lead Agency for this project?

**Response: Las Gallinas Valley Sanitary District.**

Q10. Should preparation of full CEQA documents, and required investigations and community outreach be included in scope and fee?

**Response: Yes, it will be the selected consultant's responsibility to conduct environmental reviews pursuant to CEQA and prepare all necessary CEQA documents.**

Q11. Will a detailed program for the building and different departments be provided or should the design team include programming services in scope and fee?

**Response: The design team selected shall include programming services only for the new building. Note that only lab staff will be working in the proposed lab building and that other department staff will have or already have their designated workstations elsewhere.**

Q12. Will new laboratory program be based on existing laboratory?

**Response: Most features of the existing laboratory may not be up to current standards. Design the program to allow flexibility and future expandability.**

Q13. Will drawings of the existing laboratory building be provided?

**Response: See Item No. 5 above.**

Q14. Will a complete equipment list be provided?

**Response: See RFP for a list of existing equipment that needs to be accommodated in the new lab building. Proposers shall use their best judgement on additional equipment based on prior experience in designing lab buildings for wastewater or water treatment facilities, and are welcome to visit the existing lab to gather additional information as necessary.**

Q15. Will a Hazmat list and MSDS sheets be provided? Will LGVSD be working with a Hazmat consultant directly or should the design team include a consultant for these services?

**Response: Available Hazmat list and MSDS sheets will be provided to the selected consultant after contract award. Proposers shall include in the proposal an allowance for a Hazmat subconsultant in the design team.**



Q16. How many full-time employees (Lab + Office + Education Center) should be accounted for in the new building?

**Response: See Item No. 7 above. There are currently two full-time employees at the existing lab building. The education center is for visitors. It is anticipated that no full-time employees will be permanently working in the education center.**

Q17. How many people should the Classroom / Board Room be able to accommodate?

**Response: The dual-purpose classroom and Boardroom shall be able to accommodate the 31 full-time employees, 5 Board members, and additional space for visitors and consultants.**

Q18. The RFP doesn't mention an office program, but there are offices in the existing laboratory building. Will offices be required in the new building? If yes, what is the expected program (number of employees, open vs private offices, conference spaces, amenities, etc.)?

**Response: See applicable responses above. The selected consultant has the option to include open or private offices, conference spaces, amenities, etc. in the design; however, shall provide sufficient justifications, advantages, and disadvantages for further review by the District.**

Q19. What are the required deliverables for the 3 conceptual design schemes (ie: interior and exterior plans, finishes, interior and exterior renderings)?

**Response: Each design scheme shall at a minimum include plans, finishes, and renderings for the exterior, and any additional information that may be necessary for the District to make an informative decision. The selected consultant shall develop interior plans, finishes, and renderings for the selected design scheme and shall be prepared to make modifications per District comments.**

Q20. What is the required scale for the physical model?

**Response: The District has no preference of the scale of the physical model. The selected consultant has the prerogative to select an appropriate scale that would allow the District to visualize the spatial relationship between the new building and its surroundings.**

Q21. Has a sea level rise study been done?

**Response: No. The District is in the planning phase of developing an in-depth sea level rise mitigation study to identify the areas of vulnerability. However, proposers shall assume a finished floor elevation of 18.0' for the building in the proposal.**

Q22. What is the status of entitlement and permitting?

**Response: None has been initiated by the District for this project. Proposers shall investigate and determine appropriate entitlement and permitting requirements for the building and provide a summary of their understanding of applicable codes or City ordinance in the proposal.**

- Q23. Any preliminary application has been filled with utility providers?  
**Response: None has been initiated by the District for this project. The selected consultant shall include utility applications such as PG&E, cable, telephone, water, etc. in the design phase.**
- Q24. Will we be expected to provide a Topographic Survey or will one be provided?  
**Response: The selected consultant shall include an allowance for topographic surveys in the proposal.**
- Q25. Does the district have record topo of the site that can be shared now?  
**Response: See response to Q24.**
- Q26. Is it possible to get a copy now of the geotechnical work done to date by Miller Pacific?  
**Response: See Item No. 12 above.**
- Q27. Has the district had success in the past getting grant and foundation funding? From what sources?  
**Response: The District received two grants from the California Energy Commission for biogas energy recovery system and renewable natural gas fueling stations. Also, the District received WaterSMART grant(s) from the USBR for the construction and expansion of the LGVSD Recycled Water Facility.**
- Q28. Do you have a plot of the PG&E easement that constrains the building design?  
**Response: See Attachment 3 of this addendum for legal descriptions and plats of the PG&E easement.**
- Q29. May we have a copy of the Sea Level Rise and Storm Surge study that determined the EL 18.0?  
**Response: See response to Q21.**
- Q30. For the Education Center, is the expectation for the architect to deliver a finished interior space for that second floor area that can feature 'future' interactive exhibits? OR is exhibit design for this area a part of the scope of services? If so, what are the expectations for the interactive exhibit design scope?  
**Response: It is anticipated that the selected consultant shall prepare a final interactive exhibit design to be incorporated into the bidding documents for construction as part of the project.**
- Q31. Does the exhibit design scope of work include educational content creation and conceptual approach in collaboration with LGVSD? Or does LGVSD have an outline of intended learning outcomes, approximate content and criteria for exhibits to support those outcomes to be issued to the firm?  
**Response: The exhibit design scope of work shall include educational content creation and conceptual approach in collaboration with LGVSD. The District does not have an outline for intended learning outcomes, content and criteria for the exhibits.**

Q32. What is the targeted age range for the education center audience/users?

**Response: No specific age range. The intent of the education center is to educate the public.**

Q33. For exhibit design scope, how many exhibits do you envision? Four (4)? - One (1) for each initiative: 1. wastewater collection & treatment processes, 2. recycled water production, 3. water conservation, 4. proper item disposal?

**Response: The selected consultant shall use their best judgement to determine the number of exhibits based on proposed available space. It is the intent for the District to include at least one exhibit for: wastewater collection, wastewater treatment, recycled water production, and other items as outlined in the RFP.**

Q34. The reference link provided for the interactive space includes physical object interaction paired with digital info/response – do you expect each exhibit to be physical digital exhibits?

**Response: Proposers shall include in the proposal an allowance to develop both options for District review.**

Q35. If exhibits include digital experiences/interactivity, what is the scope expectation for the specification of digital hardware and software?

**Response: See response to Q34.**

Q36. If exhibits include digital experience/interactivity, does the scope include creation and development of the digital experience/content? If yes, do you have information at this time to help quantify the digital content creation and development scope/budget? Or should an allowance be noted for further definition once scope is quantified?

**Response: See response to Q34.**

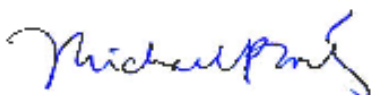
Q37. What portion of the overall construction budget is allocated for the education center?

**Response: The construction budget provided in the RFP is a preliminary number for the entire building and ancillary components. A budget allocation with percentage for each major component is not currently available. The selected consultant shall be responsible for preparing cost estimates based on the final design selected by the District.**

This addendum consists of forty-nine (49) pages including this page and attachments. Acknowledge receipt of this addendum by signing in the space provided below. Submit an original copy of this addendum cover page along with the proposal.

Las Gallinas Valley Sanitary District:

Proposer: \_\_\_\_\_



\_\_\_\_\_

Michael P. Cortez, PE, District Engineer

(Authorized Signature)

(Date)

DCH 04/26/2019 X:\Las Gallinas\ASGI50119-Secondary Treatment Upgrades\Drafting\Civil\C-8 - C-14.dwg



Attachment 1 - Future UV Piping



\* FUTURE

- NOTES:**
- 1- INSTALL ANALYZER 43-ME-1640 IN EXISTING STRUCTURE. SEE DETAIL 515/MD-4.
  - 2- PROVIDE MINIMUM 2' COVER FOR POTABLE, NPW, AND CHEMICAL LINES.
  - 3- PROVIDE MINIMUM 1% SLOPE ON 4" DRAIN AND PROVIDE PENETRATION INTO EXISTING MANHOLE. SEE DETAIL 332/SD-5.
  - 4- POWER ALIGNMENT IS PRELIMINARY & HAS NOT BEEN FINALIZED WITH THE DISTRICT OR PG&E.
- NPW HYDRANT LEGEND:**
- ① - INSTALL NEW 3" YARD HYDRANT PER DETAIL 129/CD-5 WITH HOSE RACK PER DETAIL 513/MD-4.
  - ② - CONNECT NEW NPW TO EXISTING HOSE BIB OR YARD HYDRANT.
  - ③ - CONNECT NPW TO SEAL WATER SYSTEM FOR PUMPS.
  - ④ - CONNECT NPW TO ABOVE GROUND NPW LOOP.

MATCHLINE SEE SHEET C-12

**YARD PIPING PLAN**

SCALE: 1"=10'-0"  
 0 10 20  
 Scale in Feet

① SITE ELECTRICAL ITEMS RECONCILED WITH UPDATED SITE ELECTRICAL PLAN



JOB NO. 12600-07/16650-02

LAS GALLINAS VALLEY SANITARY DISTRICT  
 MARIN COUNTY, CALIFORNIA

SECONDARY TREATMENT PLANT AND RW EXPANSION

**CIVIL YARD PIPING PLAN**

WBS 130		CHECKED JRL	DRAWN DCH	SCALE AS SHOWN
		APPROVED JRL	DESIGNED EES	DATE 11/15/18
		GENERAL MANAGER Chris DeGabriele	DISTRICT ENGINEER Michael P Cortez	
		RCE # 54039		
NO.	DATE	DESCRIPTION	BY	APPR'D
1	4/1/19	REMOVE UV BID ALTERNATE	DCH	JRL
<b>REVISIONS</b>				
61 of 327		PLAN NO.	DRAWING NO.	REVISION NO.
			C-11	C

PLOT: EXTEND  
 SCALE: 1:1  
 BORDER: 22,34

COLOR: No.  
 RED 0.70MM  
 YELLOW 0.20MM  
 GREEN 0.25MM  
 CYAN 0.40MM  
 BLUE 0.50MM  
 MAGENTA 0.20MM  
 WHITE 0.35MM  
 GRAY 0.15MM  
 9 0.15MM  
 10 1.00MM  
 100 0.70MM  
 210 0.60MM

LGVSD 1 FILE:  
 FD144793  
 ADDENDUM 1

FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES  
 0 10 20  
 MULTIPURPOSE LABORATORY BUILDING





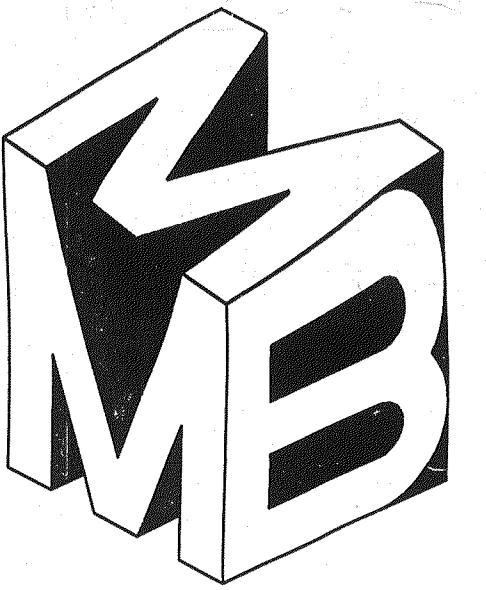


# LAS GALLINAS VALLEY

## SANITARY DISTRICT

### -San Rafael, California-

Attachment 2 - 2000 Lab Building As-Built



MEEHLEIS  
MODULAR  
BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887

## SYMBOLS

	WINDOW TYPE ON FLOOR PLAN & SCHEDULE
	CASEWORK TYPE ON FLOOR PLAN & SCHEDULE
	DOOR TYPE ON FLOOR PLAN & SCHEDULE
	REFERS TO NOTE NO. 3
	REFERS TO DETAIL NO. 4 ON SHEET A-4
	MODULE NO.

## NOTES:

LOCATION:  
LAS GALLINAS VALLEY  
SANITARY DISTRICT  
300 SMITH RANCH ROAD  
SAN RAFAEL, CA 94903

## DESIGN LOADS:

WIND: 75 M.P.H. EXPOSURE "C"  
SEISMIC: ZONE 4 Z=0.4 RW=6  
ROOF: 25 P.S.F.  
FLOOR: 90 P.S.F. LIVE LOAD  
TYPE: V-N CONSTRUCTION  
TYPE: B OCCUPANCY  
OCCUPANT LOAD: 35

## APPLICABLE CODES:

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:  
1997 UBC  
1996 NEC  
1997 UMC  
1997 UPC  
1997 UFC

## ABBREVIATIONS

A.B. A/C A.D. A.S.T.M.	AGGREGATE BASE OR ANCHOR BOLT ASPHALTIC CONCRETE AREA DRAIN AMERICAN SOCIETY FOR TESTING AND MATERIALS	F.E. F.F. F.G. F.H. F.N. F.O.B. F.O.C. F.O.S. FIN. FLR. FOUND. FT. FTG.	FIRE EXTINGUISHER FINISH FLOOR FINISH GRADE FLAT HEAD FIELD NAILING FACE OF BLOCK FACE OF CURB OR CONCRETE FACE OF STUD FINISH FLOOR FOUNDATION FEET FOOTING	MTD. HTL.	MOUNTED METAL	T#B T#G T.O.B. T.O.C. T.O.S. T.P.D. TEL. THRESH. TYP.	TOP AND BOTTOM TONGUE AND GROOVE TOP OF BLOCK TOP OF CURB OR CONCRETE TOP OF SLAB TOILET PAPER DISPENSER TELEPHONE THRESHOLD TYPICAL
BD. BLD'G. BLK. BLK'G. BT. BOT.	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM	G.I. GA. GALV. GR. GYF.	GALVANIZED IRON GAUGE GALVANIZED GRADE GYPSUM	O/ O.C. O.D. O.H. OBS. OPEN. OPP.	OVER ON CENTER OUTSIDE DIMENSION OR DIAMETER OVER HANG OBSCURE OPENING OPPOSITE	U.B.C. U.L. U.O.N.	UNIFORM BUILDING CODE UNDERWRITERS LABORATORY UNLESS OTHERWISE NOTED
C.B.C. C.B. C.C.R. C.E.F. C.I. C.J. C.L. C.O.T.G. C.P. CAB. CER. CHK. BD. CLG. COL. CONC. CONT.	CALIFORNIA BUILDING CODE CATCH BASIN CALIFORNIA CODE OF REGULATIONS CEILING EXHAUST FAN CAST IRON CONSTRUCTION JOINT CHAIN LINK CLEAN OUT TO GRADE COMPLETE PENETRATION CABINET CERAMIC CHALK BOARD CEILING COLUMN CONCRETE CONTINUOUS	H.B. H.C. H.D. H.D. MD. HORIZ. HR. HT.	HOSE BIB HOLLOW CORE HOT DIPPED HARD WOOD HORIZONTAL HOUR HEIGHT	P.L. P. LAM. P.P. P.S.F. P.S.I. P.T.D.F. PERF. PL. PLYWD. PORT. PR. PRE-FAB.	PROPERTY LINE PLASTIC LAMINATED PARTIAL PENETRATION POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED DOUGLAS FUR PERFORATED PLATE PLYWOOD PORTABLE PAIR PRE FABRICATED	W. W/ W/O W.C. W.H. W.P. W.S. WD. WSC.T.	WEST WITH WITH OUT WATER CLOSET WATER HEATER WATER PROOF WOOD SCREWS WOOD WAINSCOT
D.F. D.I. D.S. DBL. DET. DIA. DIM. DN. DR. DRW'G.	DRINKING FOUNTAIN OR DOUGLAS FUR DRAIN INLET DOWN SPOUT DOUBLE DETAIL DIAMETER DIMENSION DOWN DOOR DRAWING	I.C.B.O. I.D. IN. INFO. INSUL. INT.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIMENSION OR DIAMETER INCH INFORMATION INSULATION INTERIOR	R.A.G. R.B. R.D. R.O. R.W.L. REINF. REQ'D RET. RM. RWD.	RETURN AIR GRILL RUBBER BASE ROOF DRAIN ROUGH OPENING REINFORCING REQUIRED RETURN ROOM REDWOOD	E-1 E-2	POWER PLAN & PANEL SCHEDULE LIGHTING LAYOUT
E. E.J. E.N. E.S. E.W. EA. ELL. OR ELEV. ELECT. EQ. EQUIP. EXIST. EXP. EXT. EXTING.	EAST EXPANSION JOINT EDGE NAILING EACH SIDE EACH WAY EACH ELEVATION ELECTRICAL EQUAL EQUIPMENT EXISTING EXPANSION EXTERIOR EXTINGUISHER	JAN. JST.	JANITOR JOIST	K.D.	KNOCK DOWN	S. S.A.D. S.C. S.C.D. S.D. S.M. S.M.S. S.N.D. S.N.R. SCHED. SERV. SHT. SIM. SL. SPEC. SQ. STD. STIF. PL. STOR. STRUCT.	SOUTH SUPPLY AIR DIFFUSER SOLID CORE SEAT COVER DISPENSER STORM DRAIN OR SOAP DISPENSER SHEET METAL SHEET METAL SCREW SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPICAL SCHEDULE SERVICE SHEET SIMILAR SLIDING SPECIFICATION SQUARE STANDARD STIFFENER PLATE STORAGE STRUCTURAL
F.A. F.A.P. F.D.	FIRE ALARM FLOOR ACCESS PANEL FLOOR DRAIN	L.B. LAV. LB. LT. WT.	LAG BOLT LAVATORY POUND LIGHT WEIGHT	M.B. M.D.O. M.H. MACH. MAX. MECH. MEMB. MFR. MIN. MISC.	MACHINE BOLT MEDIUM DENSITY OVERLAY MAN HOLE MACHINE MAXIMUM MECHANICAL MEMBRANE MANUFACTURER MINIMUM MISCELLANEOUS		

## SHT.

0
C-1
A-1
A-2
A-2A
A-3
A-4
A-5
A-6
SF-01
SF-1
SF-2
S-1
S-1A
S-2
S-2A
S-3
S-3A
M-1
M-2
P-1
E-1
E-2

## DESCRIPTION

COVER SHEET & PROJECT INFO
SITE PLAN
FLOOR PLAN
REFLECTED CEILING PLAN
CEILING DETAILS
ARCHITECTURAL CROSS - SECTION
ARCHITECTURAL DETAILS
EXTERIOR ELEVATIONS
INT. FINISH SCHEDULE, & DETAILS
SOIL, FOUNDATION AND CONCRETE NOTES & DETAILS
FOUNDATION PLAN & DETAILS
FOUNDATION DETAILS
FLOOR FRAMING PLAN W/ MEMBER SCHEDULE
ROOF FRAMING PLAN W/ MEMBER SCHEDULE
STRUCTURAL DETAILS AT ROOF
STRUCTURAL DETAILS AT FLOOR
STRUCTURAL CROSS-SECTION W/ TYP. WALL FRMG. ELEV.
STRUCTURAL NOTES W/ TYP. WALL ANCHOR DETAILS
MECHANICAL PLAN W/ DETAILS
MECHANICAL DETAILS
PLUMBING PLAN
POWER PLAN & PANEL SCHEDULE
LIGHTING LAYOUT

## VICINITY MAP

July 17, 2000

1) Bird houses  
2) All w lockers?  
3) Stub addition + waste loc to outside center of prop room for sample work-up  
4) Cold water location ID 1nb (for filters)  
5) Sink mat to 220 dishwasher A-1 FF-1

*Handwritten notes:*  
Add 8' x 9' wall & door  
3/4" ST ambient exhaust  
for each of the two units  
access to coils  
security wiring  
drains w/ bio-lab  
water electrical in A10-10b

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	



COVER SHEET

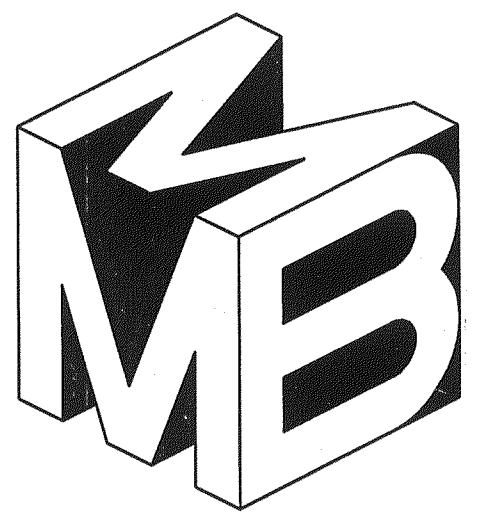
New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

STRUCTURAL ENGINEER	
SHEET NO.	0
OF SHEETS	004/15
JOB NO.	004/15



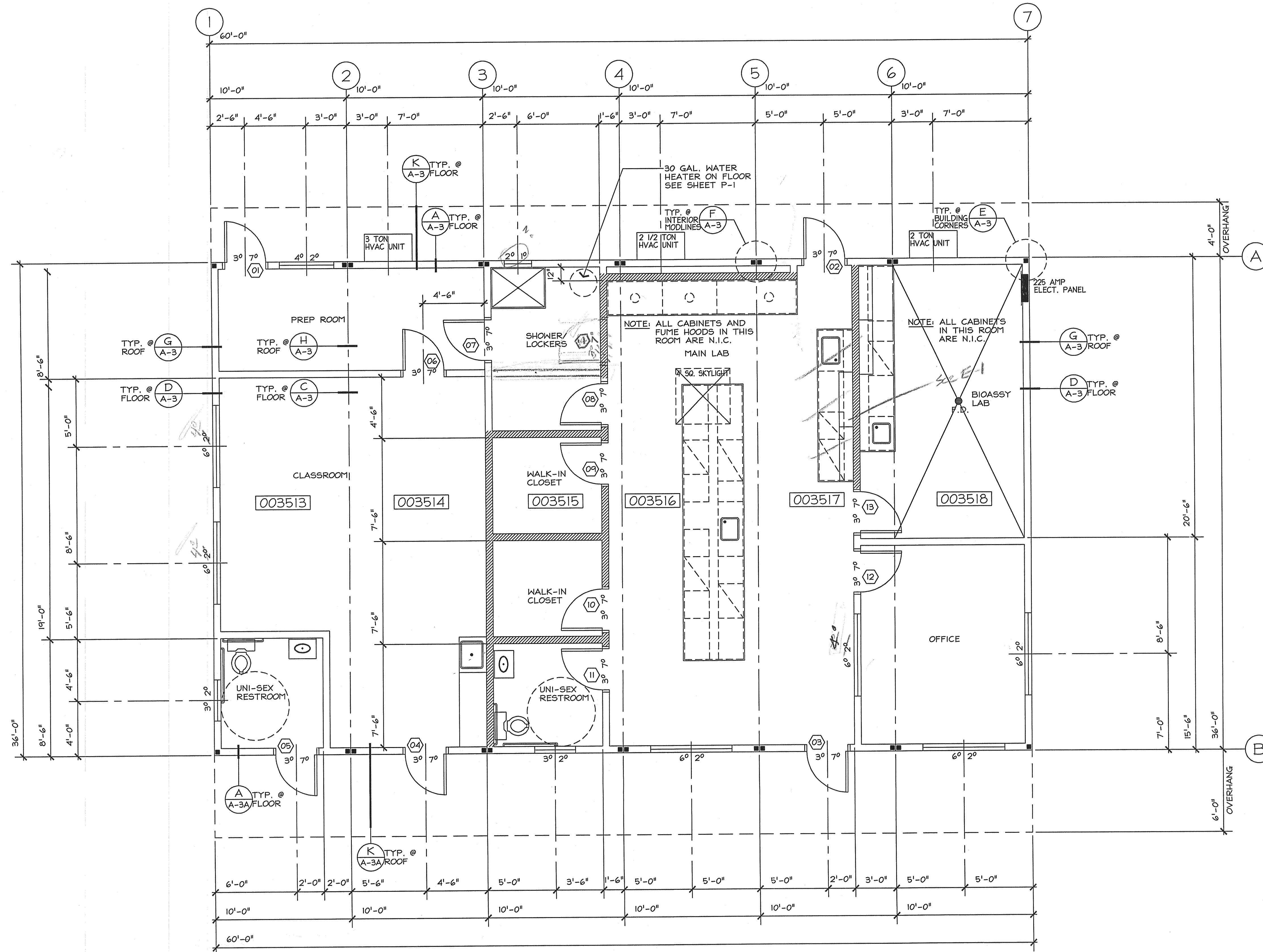
FLOOR PLAN LEGEND

-  STUD WALL W/ 1/2" PLYWOOD BACKING FOR CABINETS, SHELVES, FUME HOODS ETC.
-  2x STUD WALL



MEEHLEIS  
MODULAR  
BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887



DATE:	JUNE 13, 2000
DRAWN:	MJB
CHECKED:	
REVISIONS:	

FLOOR PLAN  
 New Building for: Las Gallinas Valley Sanitary District  
 San Rafael, California

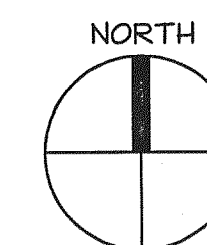
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

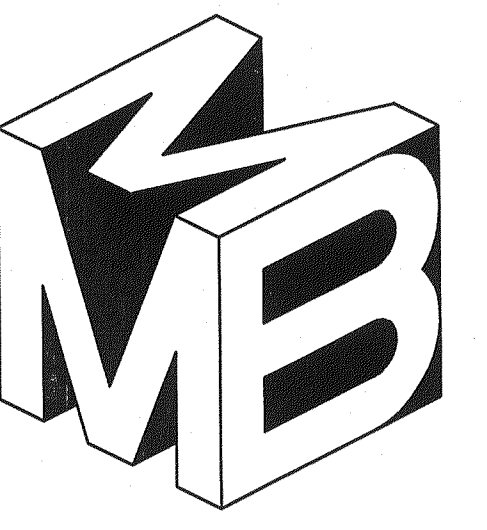
STRUCTURAL ENGINEER

SHEET NO.  
**A-1**  
 OF SHEETS  
 JOB NO.: 00415

FLOOR PLAN

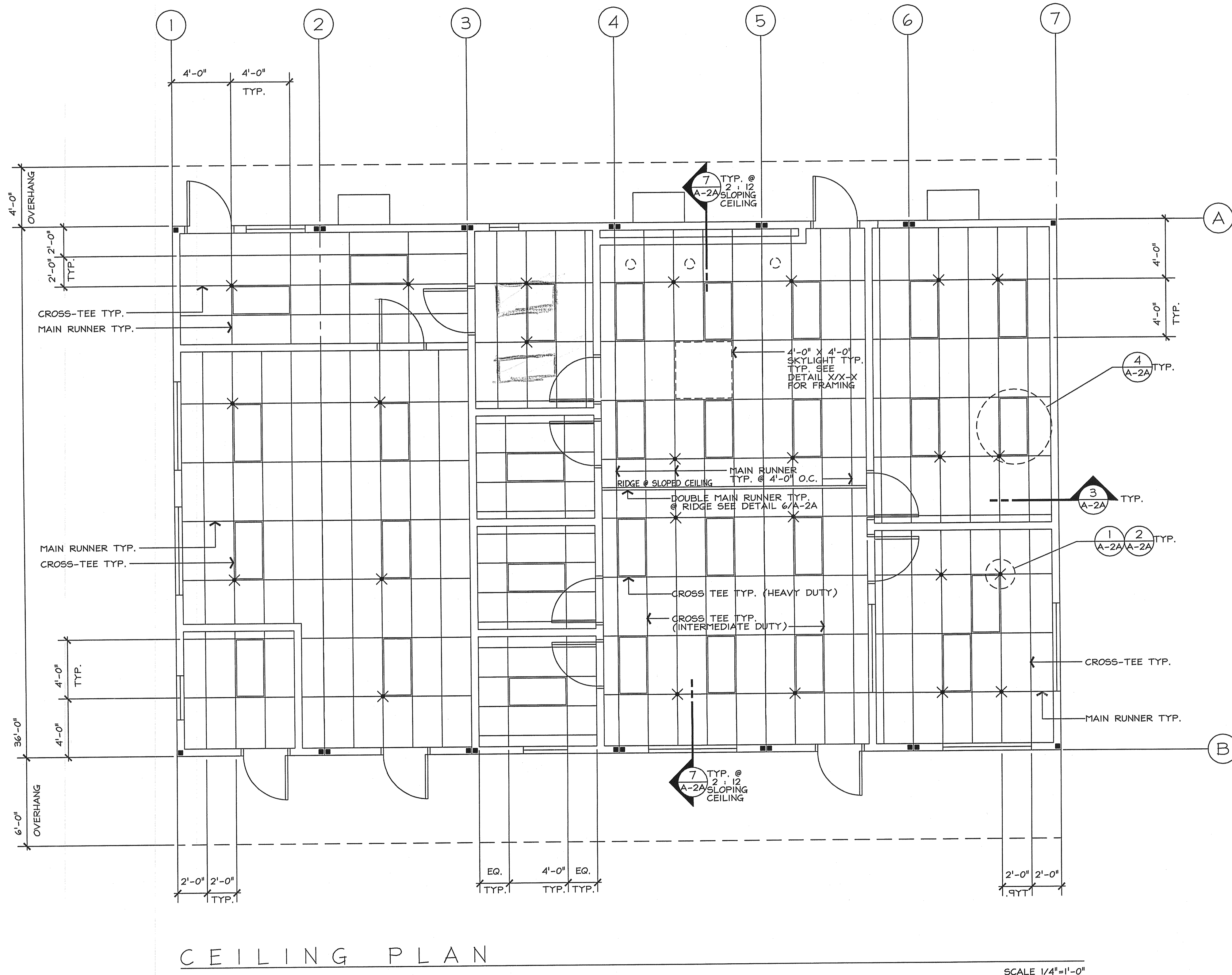
SCALE 1/4"=1'-0"





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BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887



DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

CEILING PLAN  
  
 New Building for: Las Gallinas Valley Sanitary District  
 San Rafael, California

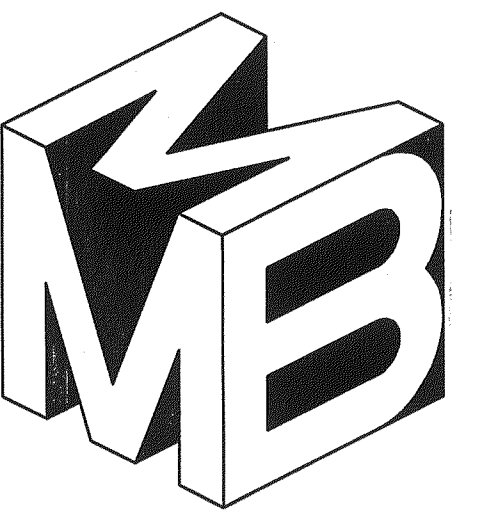
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

SHEET NO.  
**A-2**  
OF SHEETS

JOB NO.: 00415





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(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887

DATE: JULY 24, 2000

DRAWN: KMC

CHECKED:

REVISIONS:

CEILING DETAILS

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

**PRELIMINARY**  
NOT FOR CONSTRUCTION

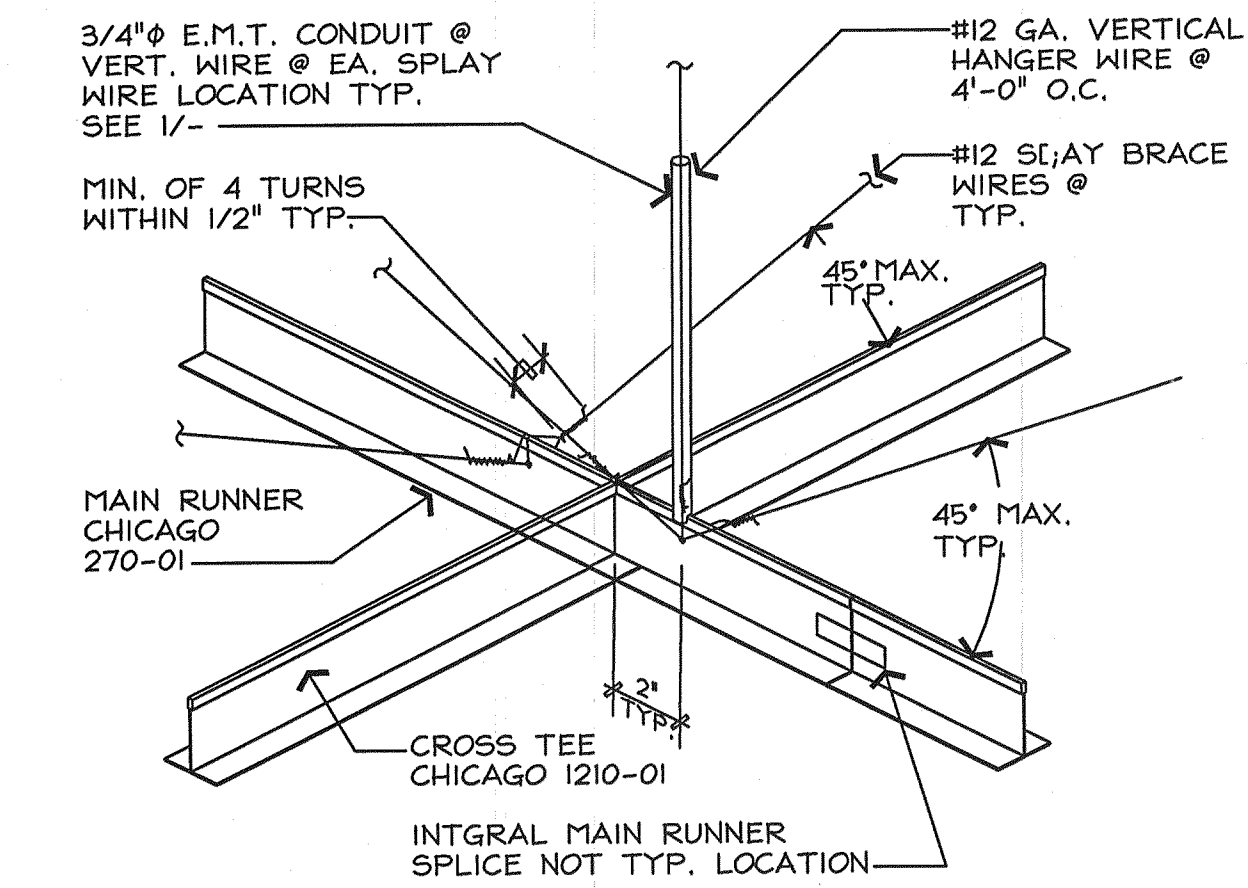
STRUCTURAL ENGINEER

SHEET NO.

**A-2A**

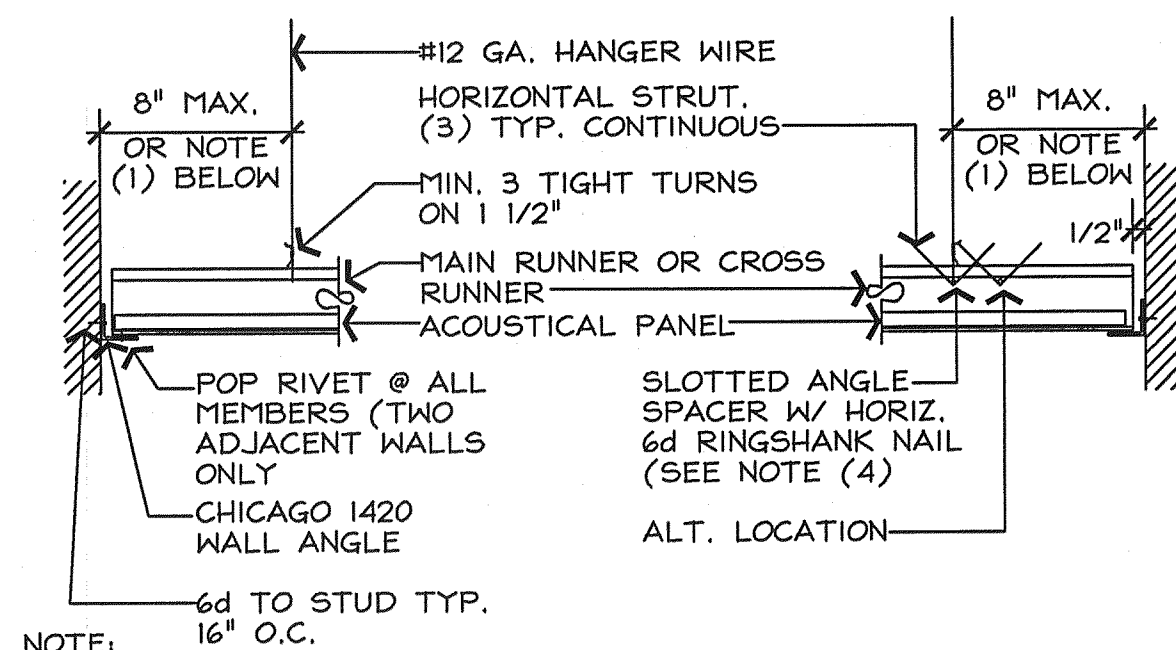
OF SHEETS

JOB NO.: 00415



**SPLAY WIRE ATTACHMENT**

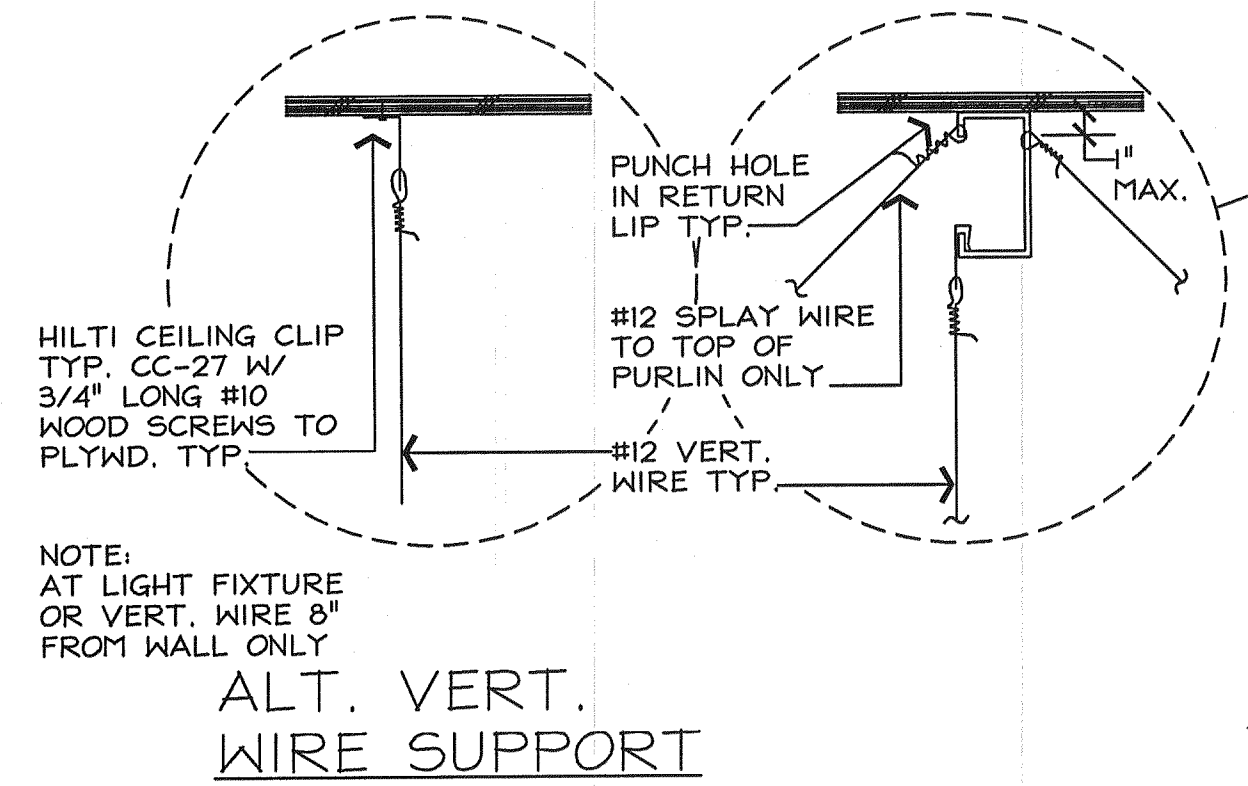
SCALE: 1-1/2"=1'-0"



- NOTE:
- 1/4 OF THE LENGTH OF THE END RUNNER WHICHEVER IS LESS.
  - 12'-0"x12'-0" GRID ANS WHEN 6'-0" OF WALLS
  - NOTCHING OF HORIZ. STRUTS IS PERMITTED ONLY @ INTERSECTIONS WITH MAIN RUNNERS OR CROSS TEES.
  - NAIL @ ENDS OF HORIZ. STRUTS SHALL BE PLACED WITH HEAD TOWARDS CENTERLINE OF SPAN OF STRUT.

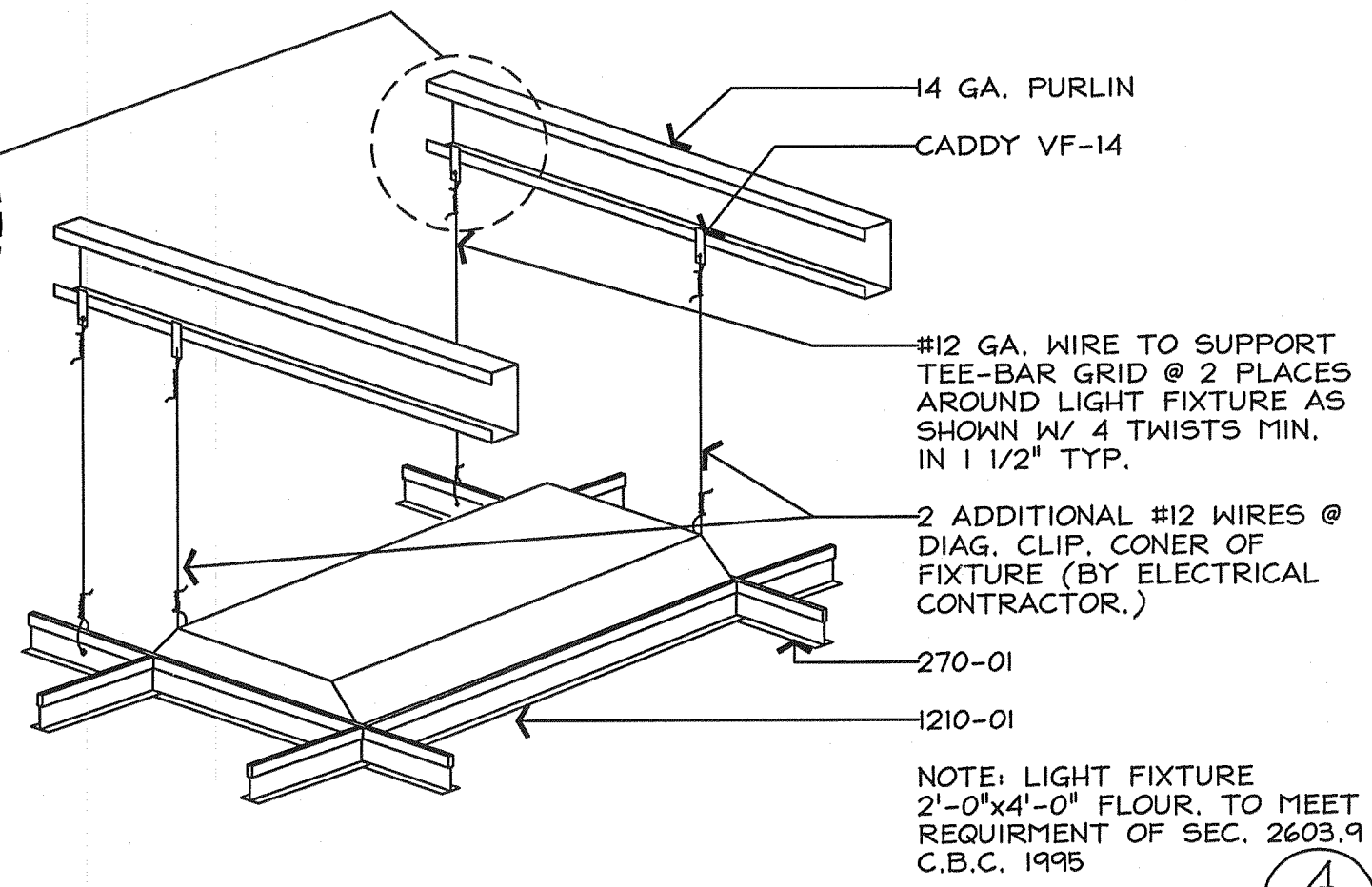
**CEILING GRID @ WALL**

SCALE: 1-1/2"=1'-0"



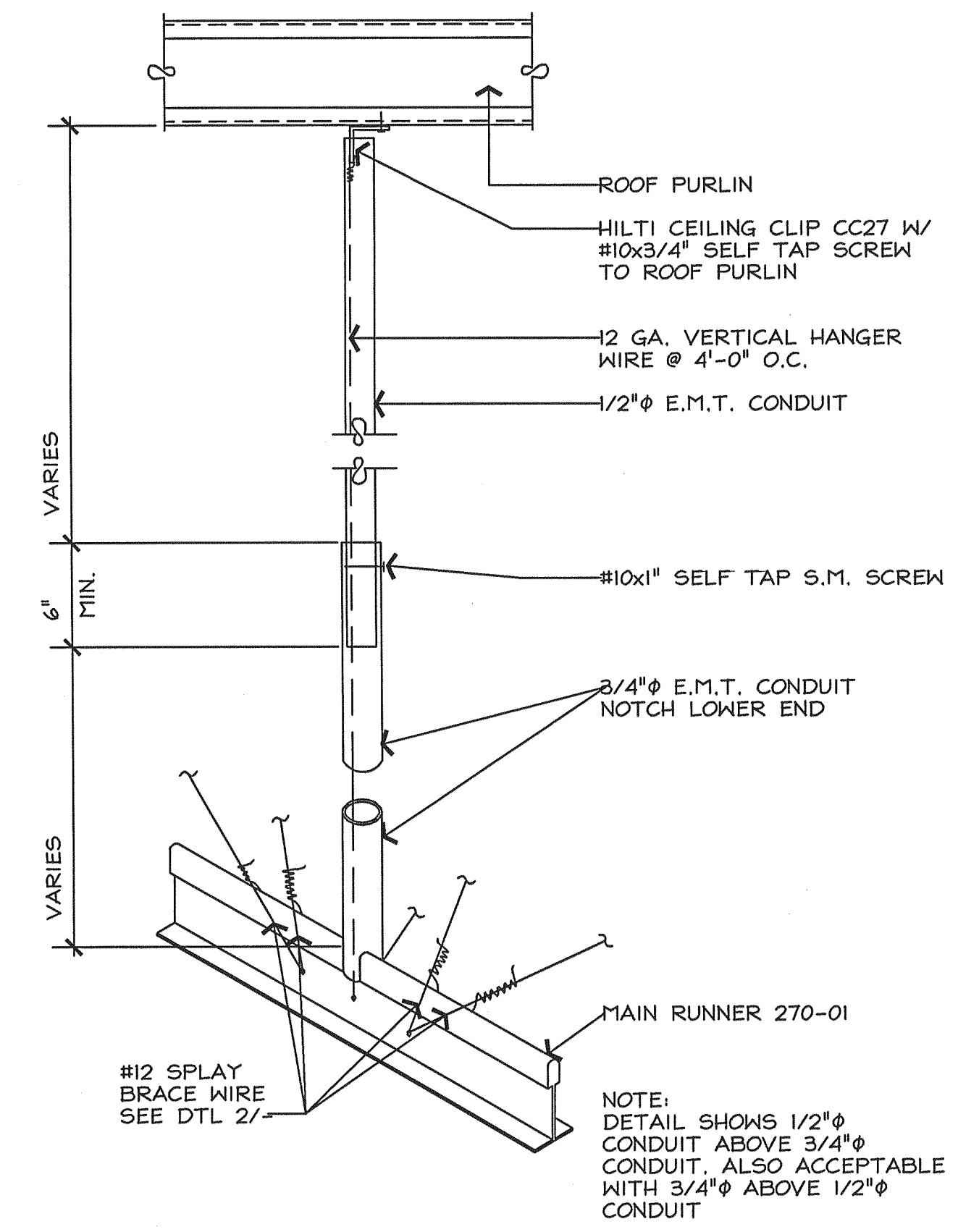
**LIGHT FIXTURE @ CEILING**

SCALE: 1-1/2"=1'-0"



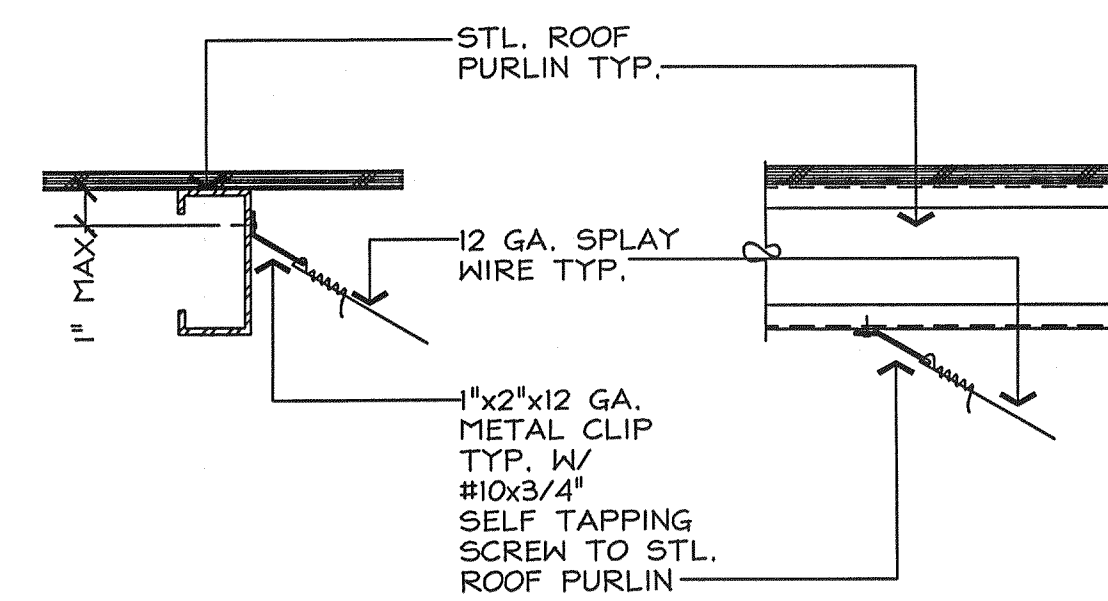
NOTE: LIGHT FIXTURE 2'-0"x4'-0" FLOOR, TO MEET REQUIREMENT OF SEC. 2603.9 C.B.C. 1995

**4**



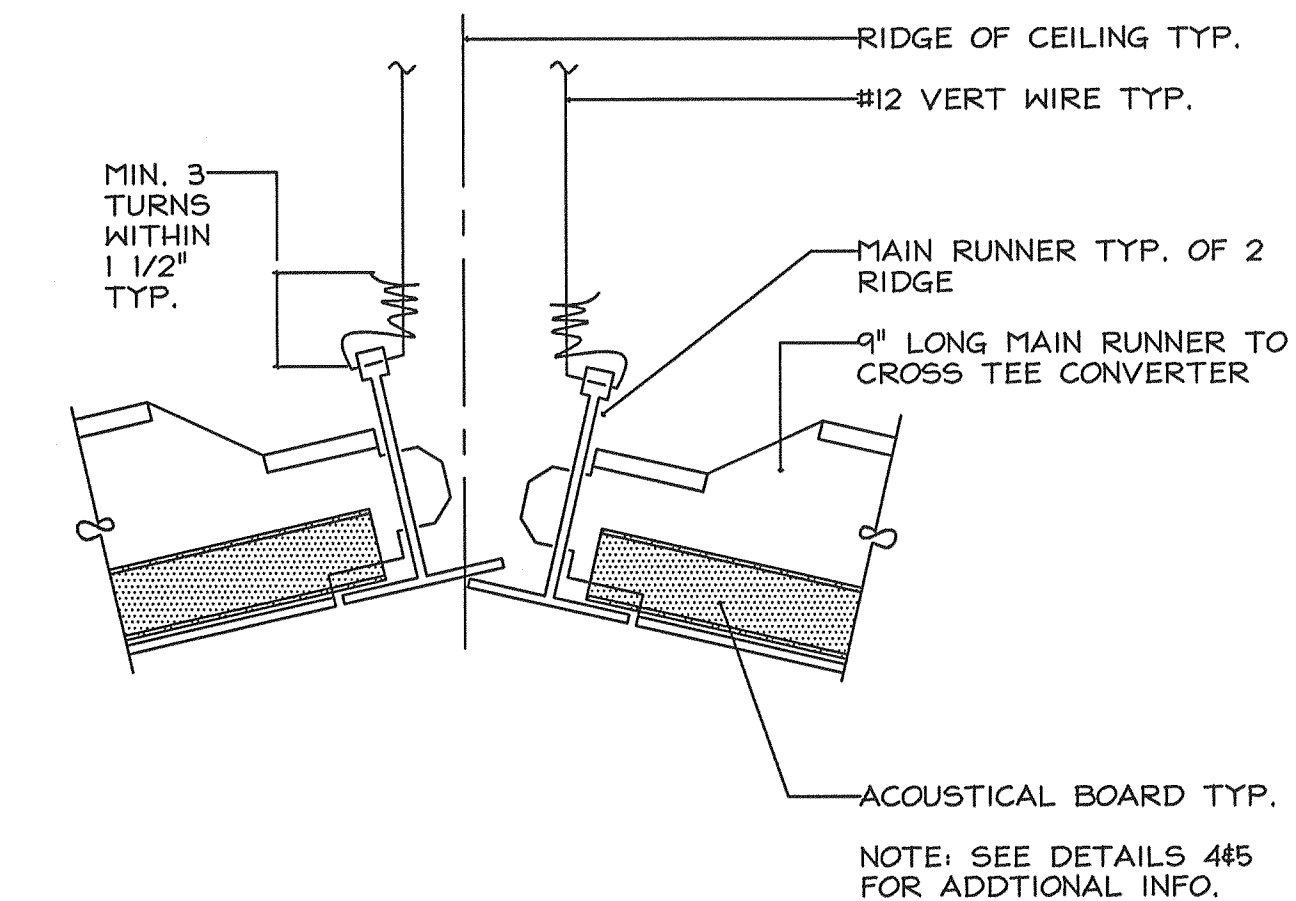
**COMPRESSION STRUT DETAIL**

SCALE: 1-1/2"=1'-0"



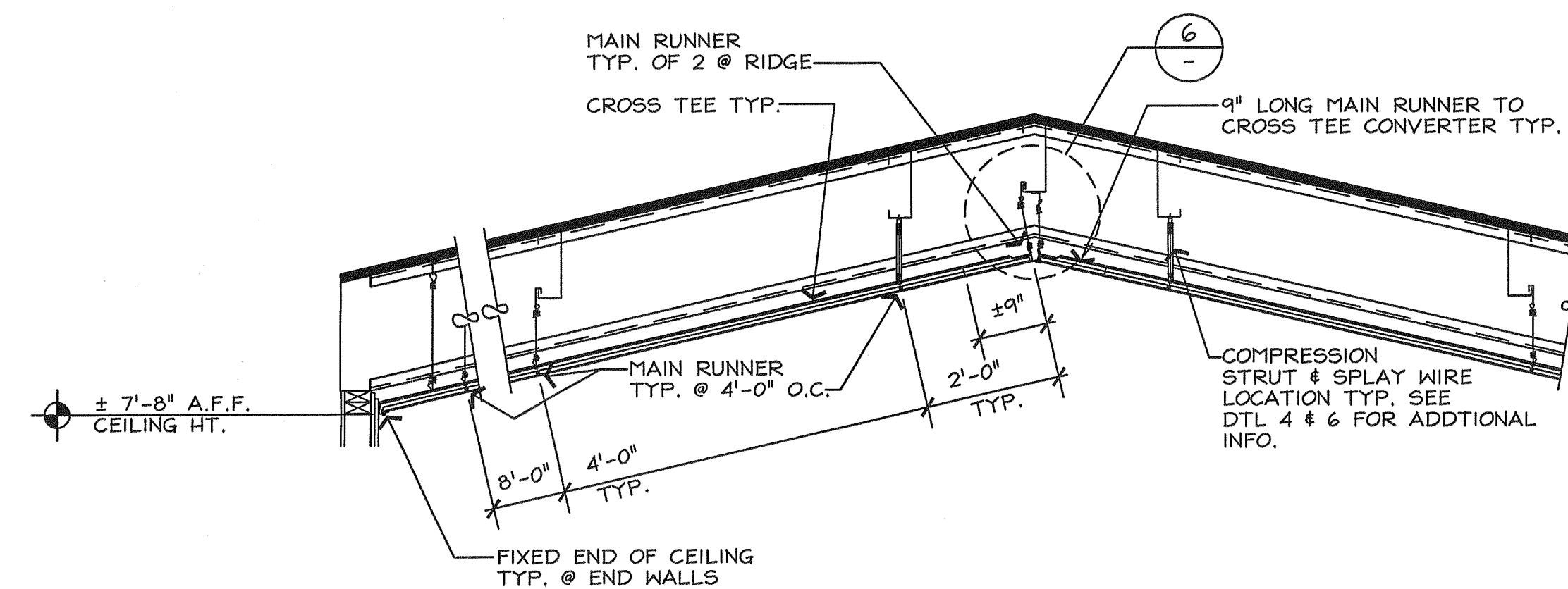
**ALT. SPLAY WIRE BRACING**

SCALE: 1-1/2"=1'-0"



**SECTION @ RIDGE OF CLG.**

SCALE: 1"=1'

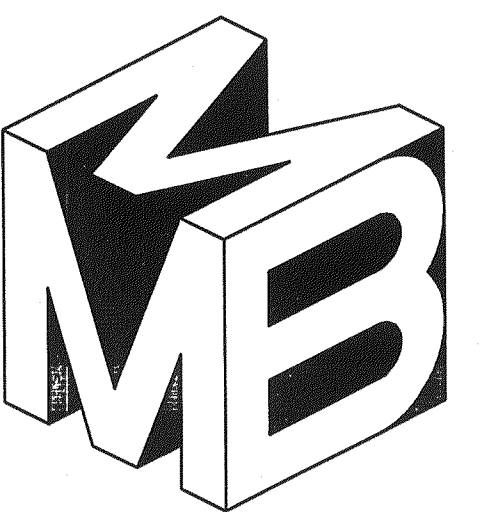


**SECTION @ SLOPING CEILING**

SCALE: 1"=1'-0"

**7**





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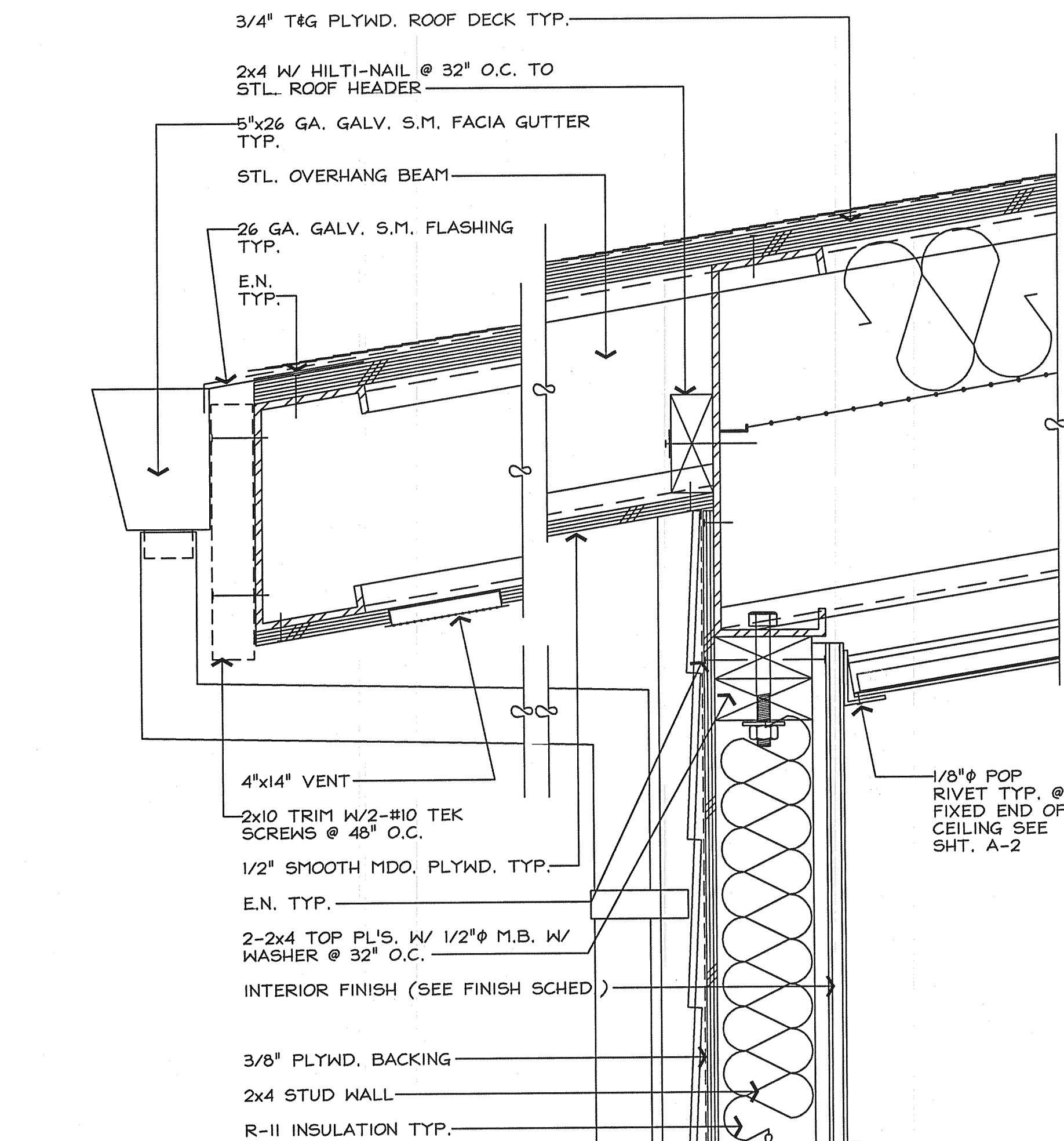
1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887

DATE: JULY 24, 2000

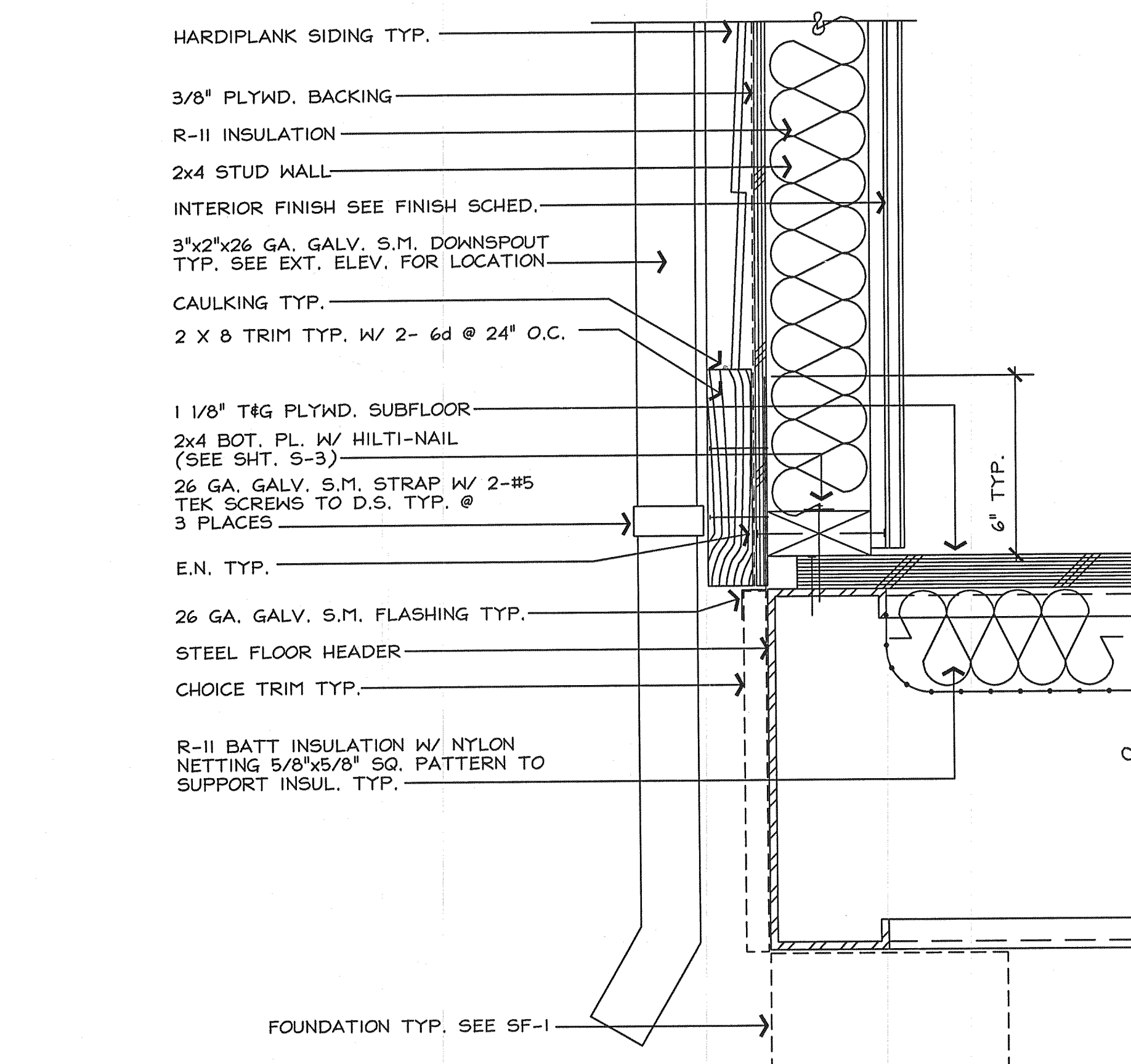
DRAWN: KMC

CHECKED:

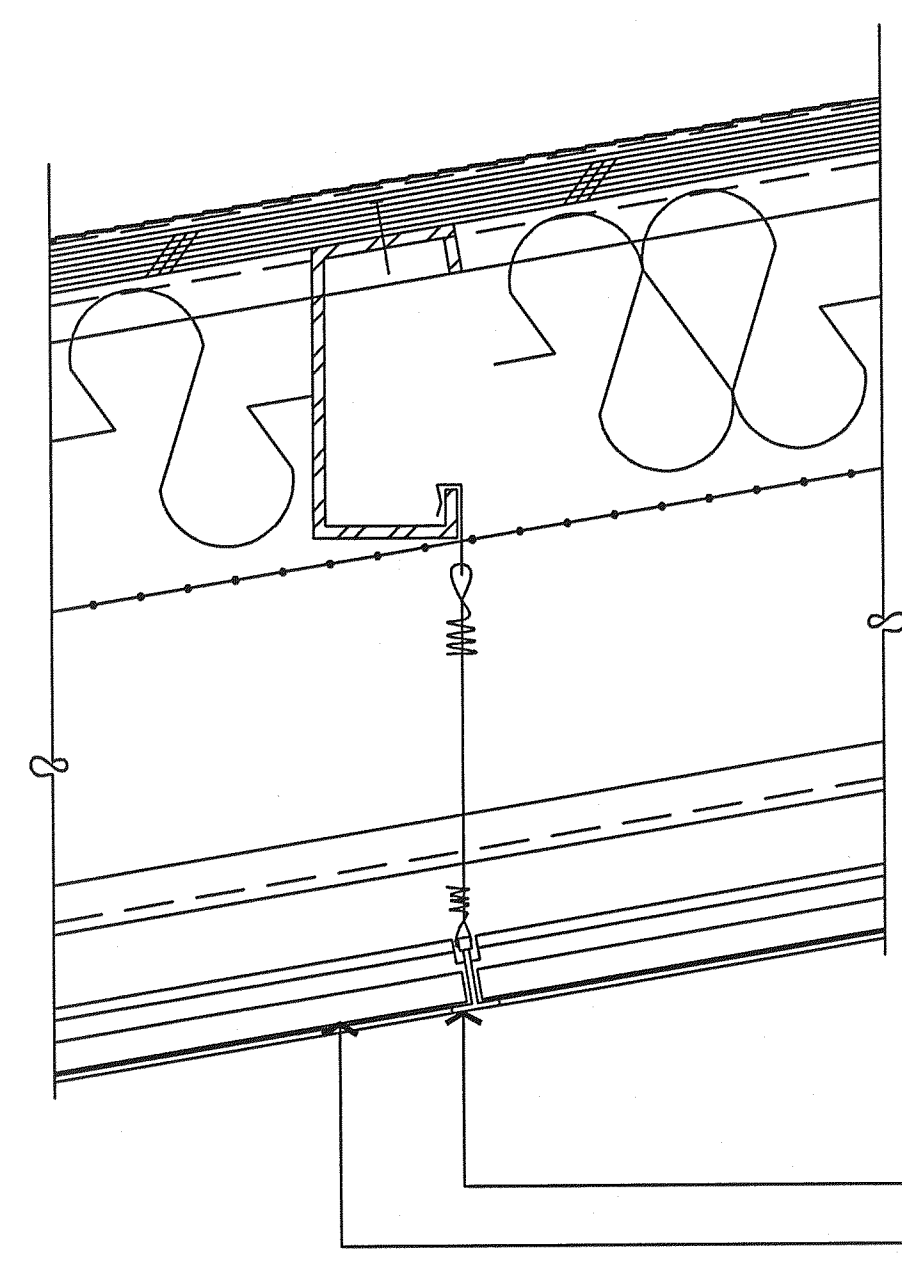
REVISIONS:



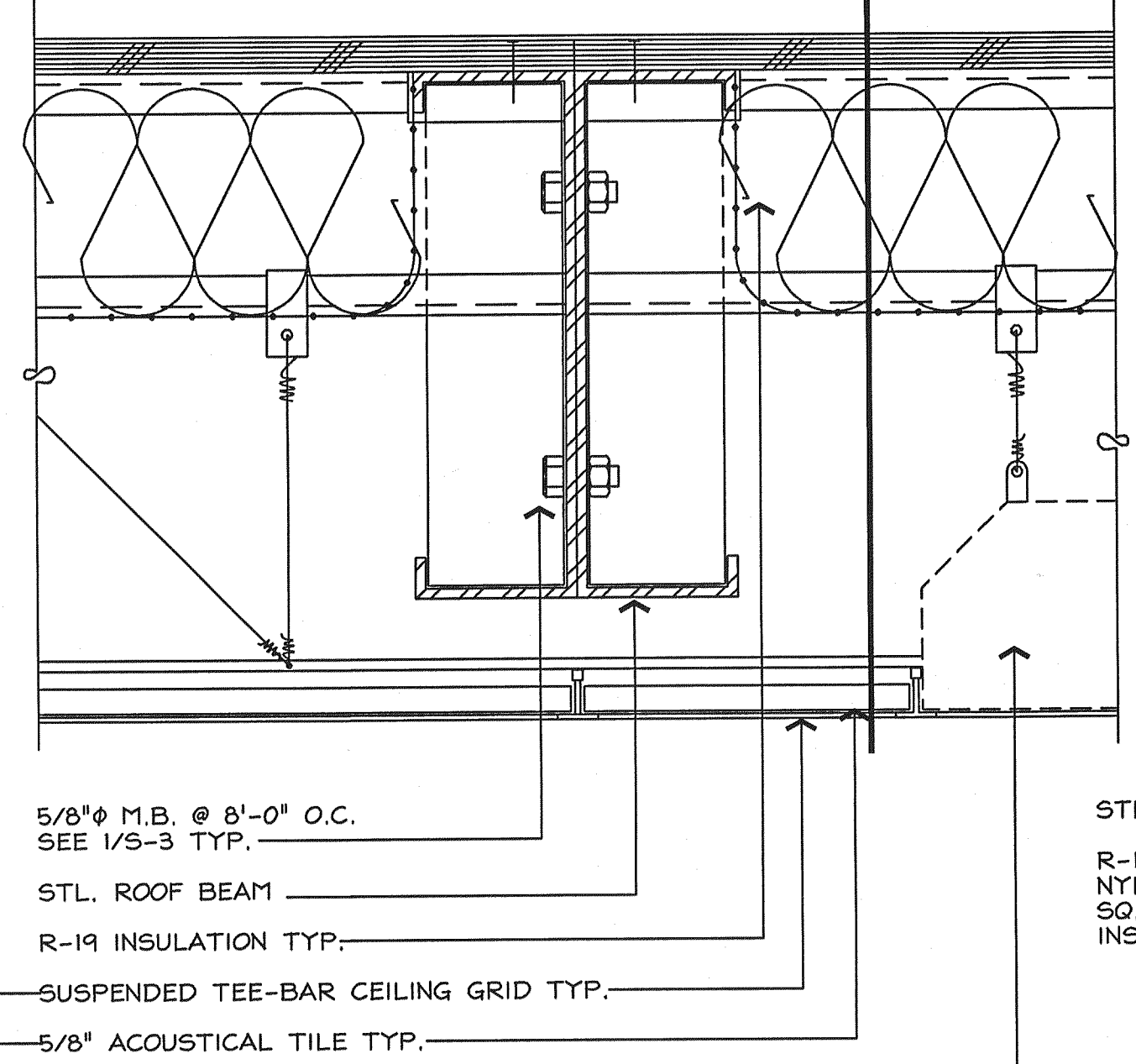
END WALL @ FRONT & REAR OVERHANG (K) SCALE 3"=1'-0"



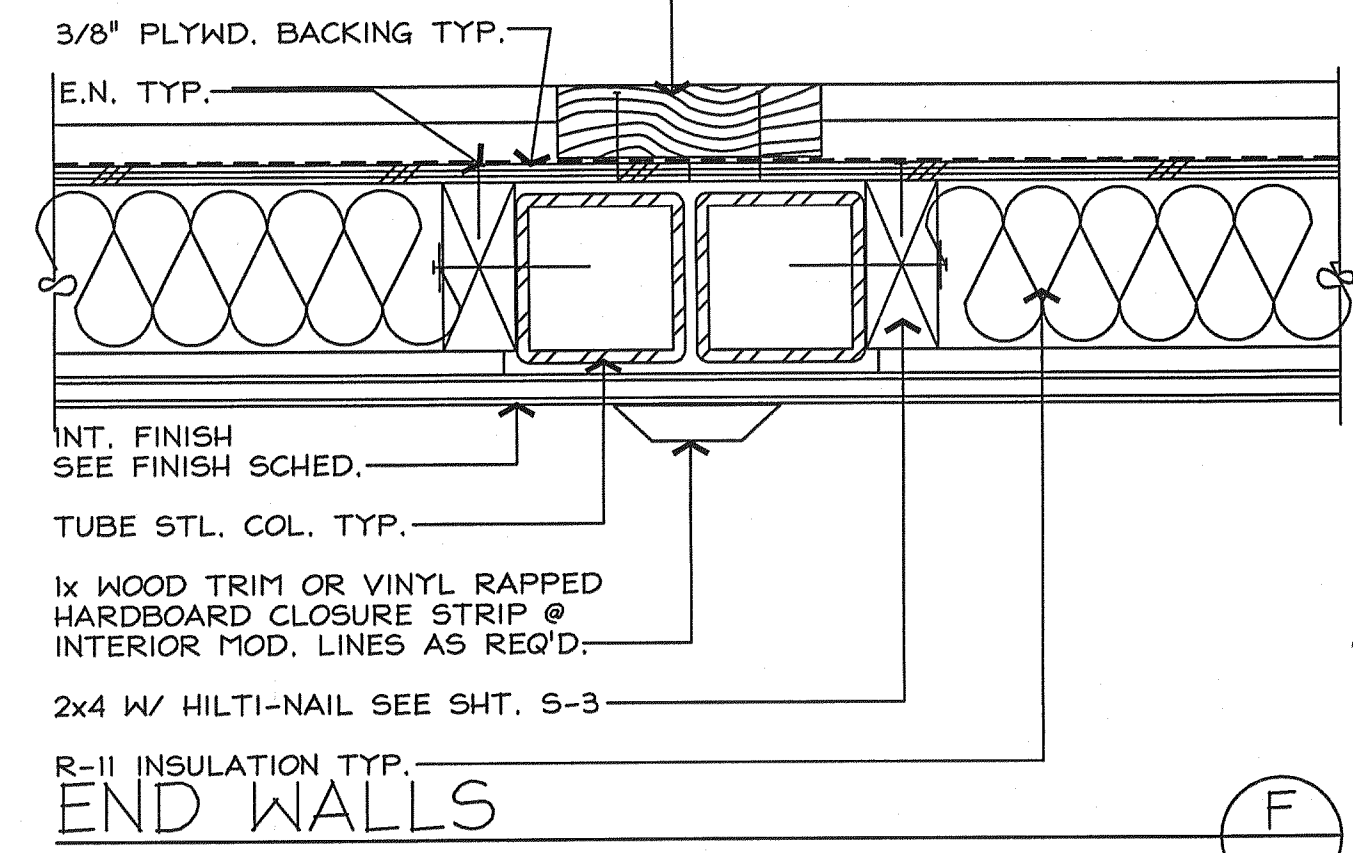
END WALL (A) SCALE 3"=1'-0"



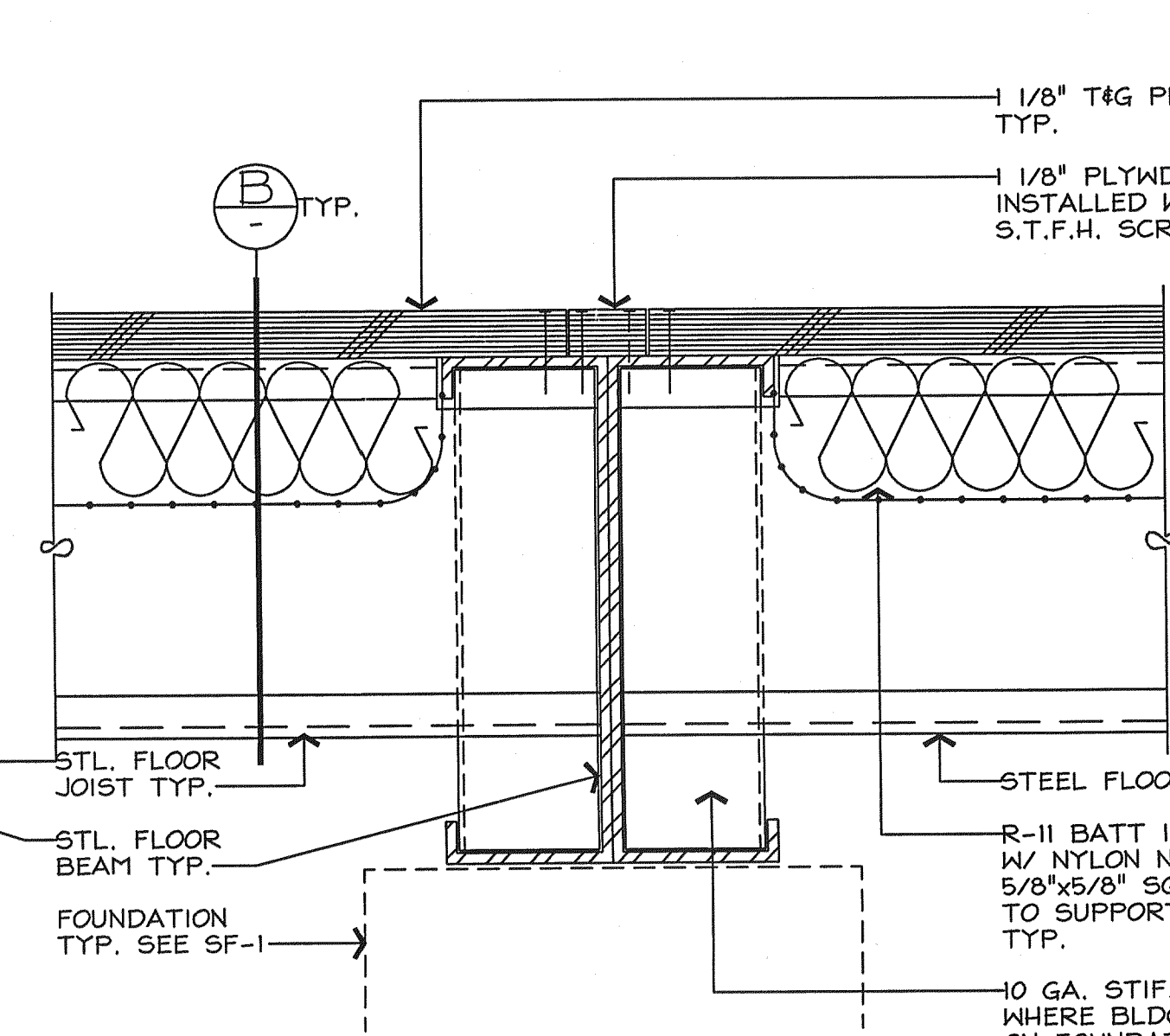
ROOF JOIST (J) SCALE 3"=1'-0"



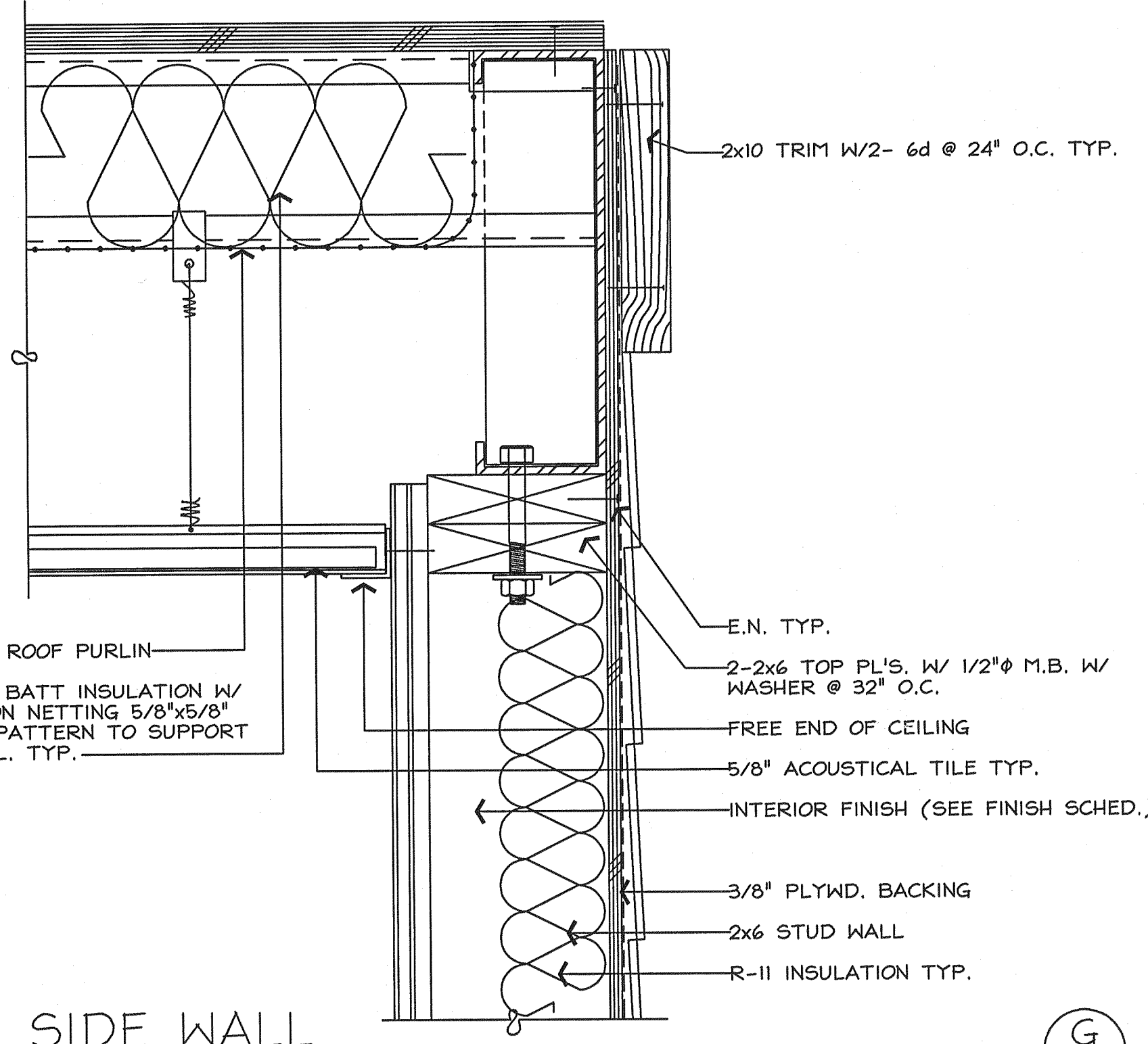
ROOF @ INT. MODLINE (H) SCALE 3"=1'-0"



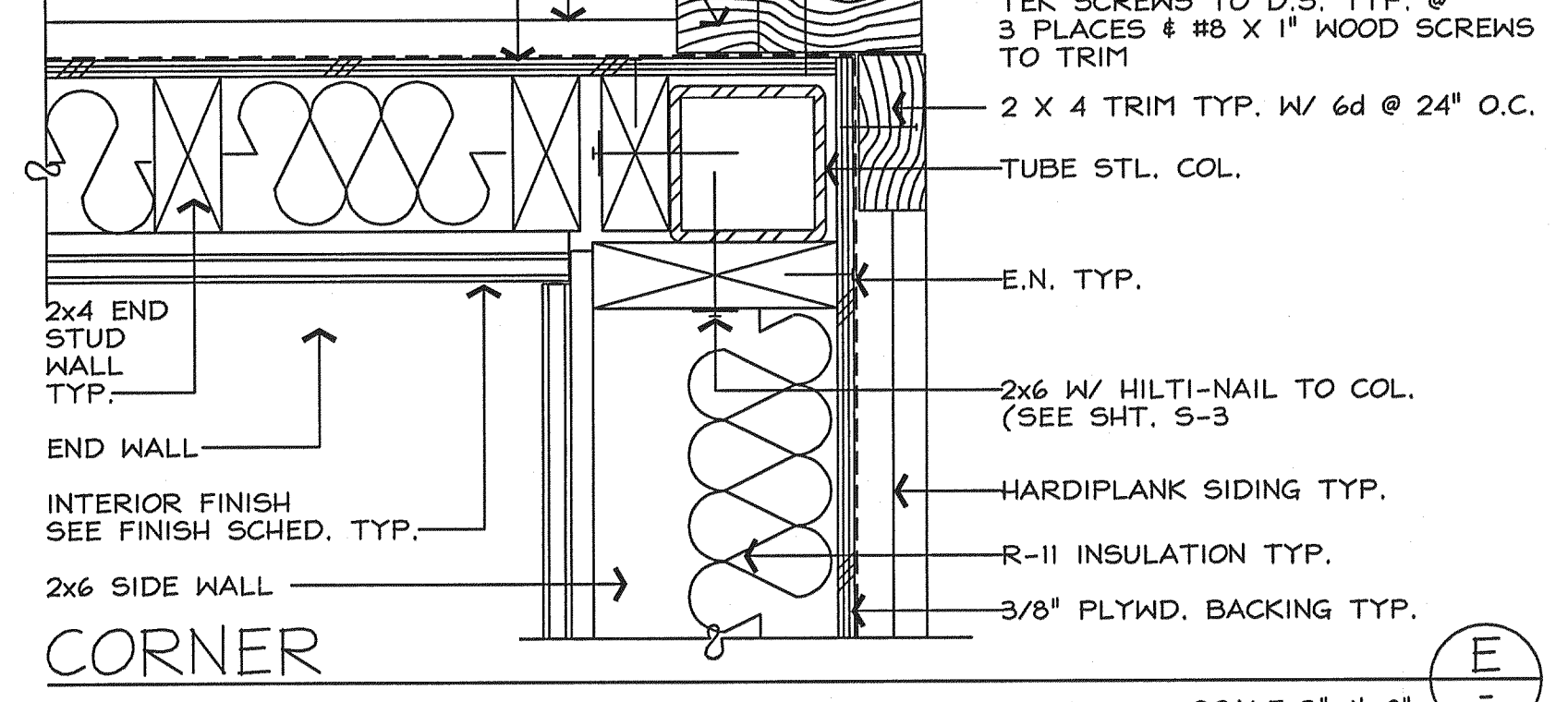
END WALLS (F) SCALE 3"=1'-0"



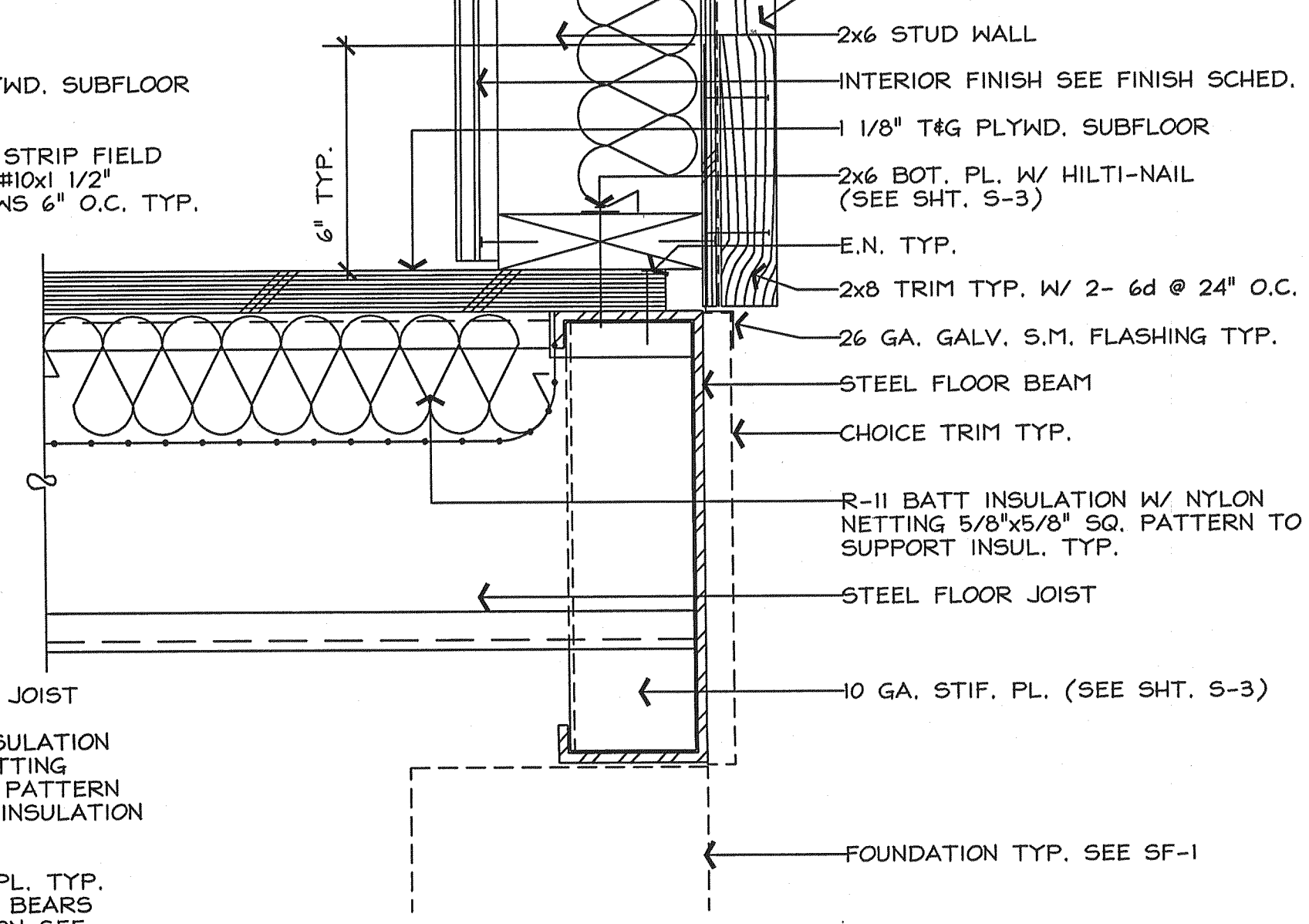
FLOOR @ INT. MODLINE (C) SCALE 3"=1'-0"



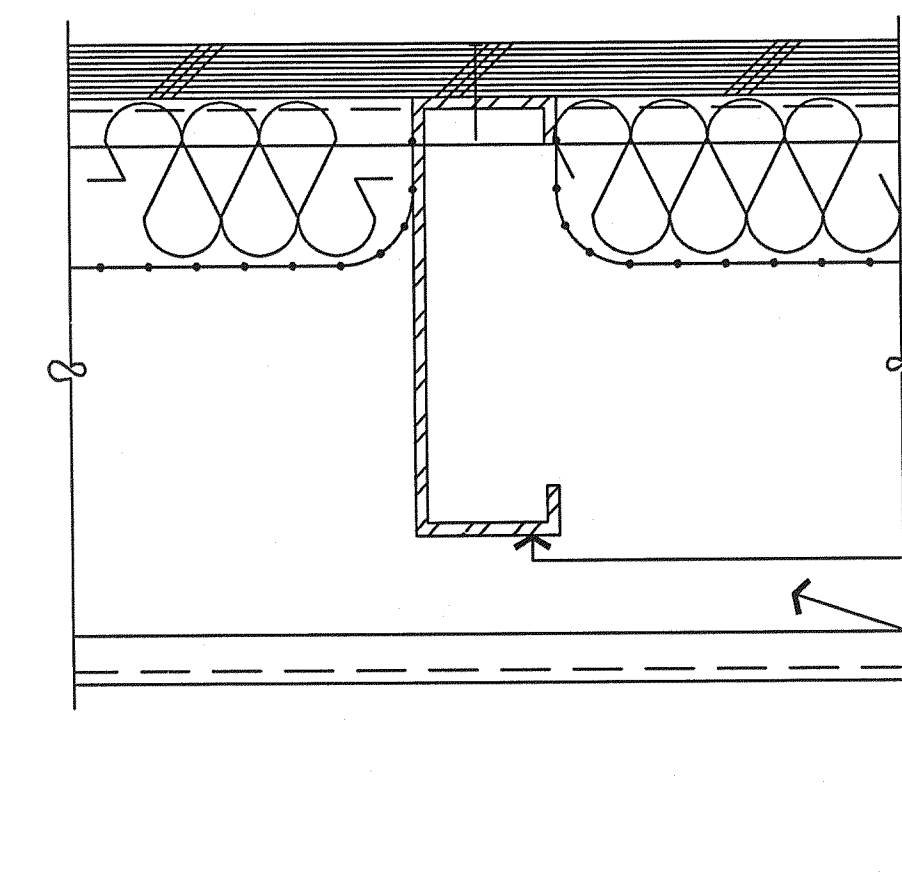
SIDE WALL (G) SCALE 3"=1'-0"



CORNER (E) SCALE 3"=1'-0"



SIDE WALL (D) SCALE 3"=1'-0"



FLR. JOIST (B) SCALE 3"=1'-0"

ARCHITECTURAL CROSS-SECTION

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

PRELIMINARY  
NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

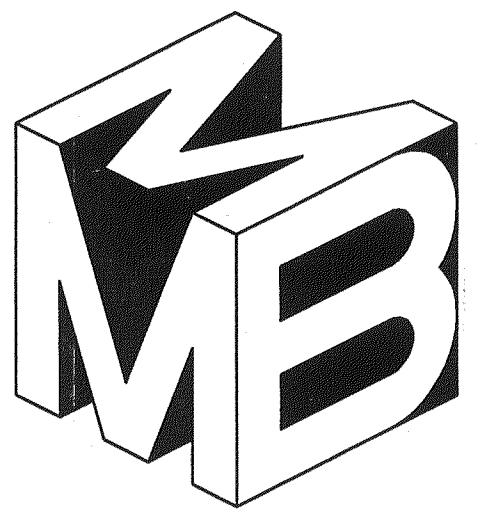
SHEET NO.

A-3

OF SHEETS

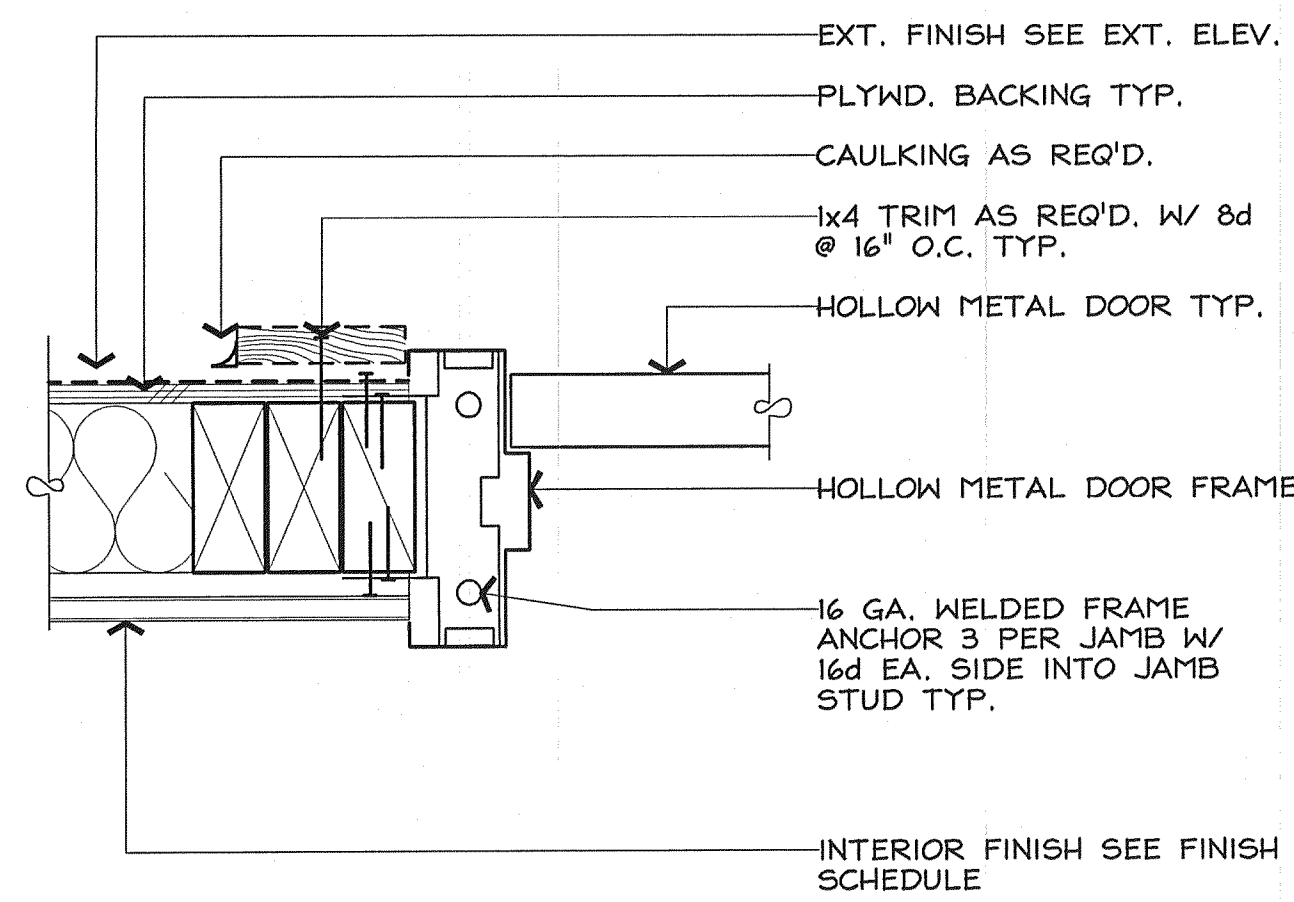
JOB NO.: 00415





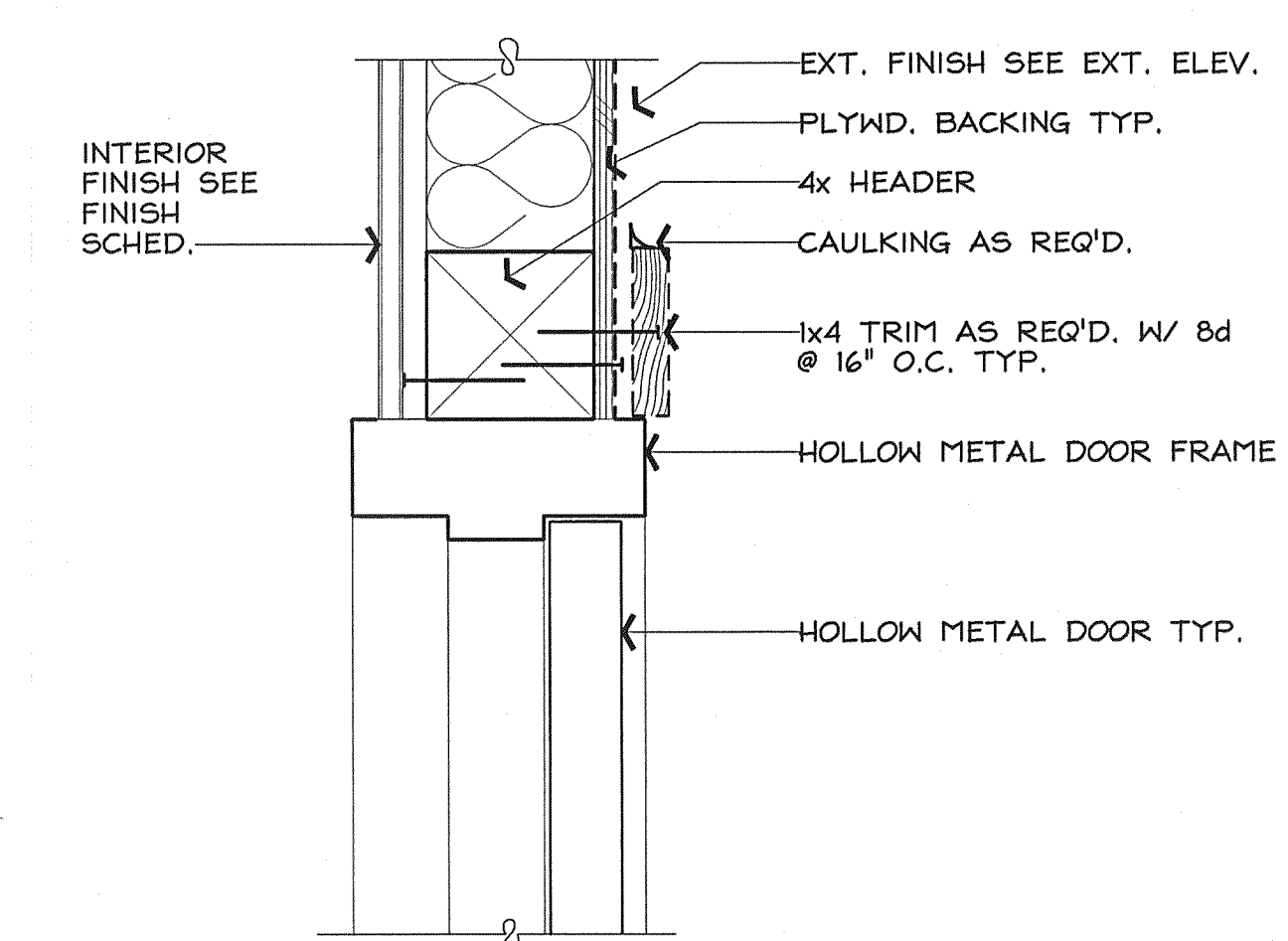
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1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
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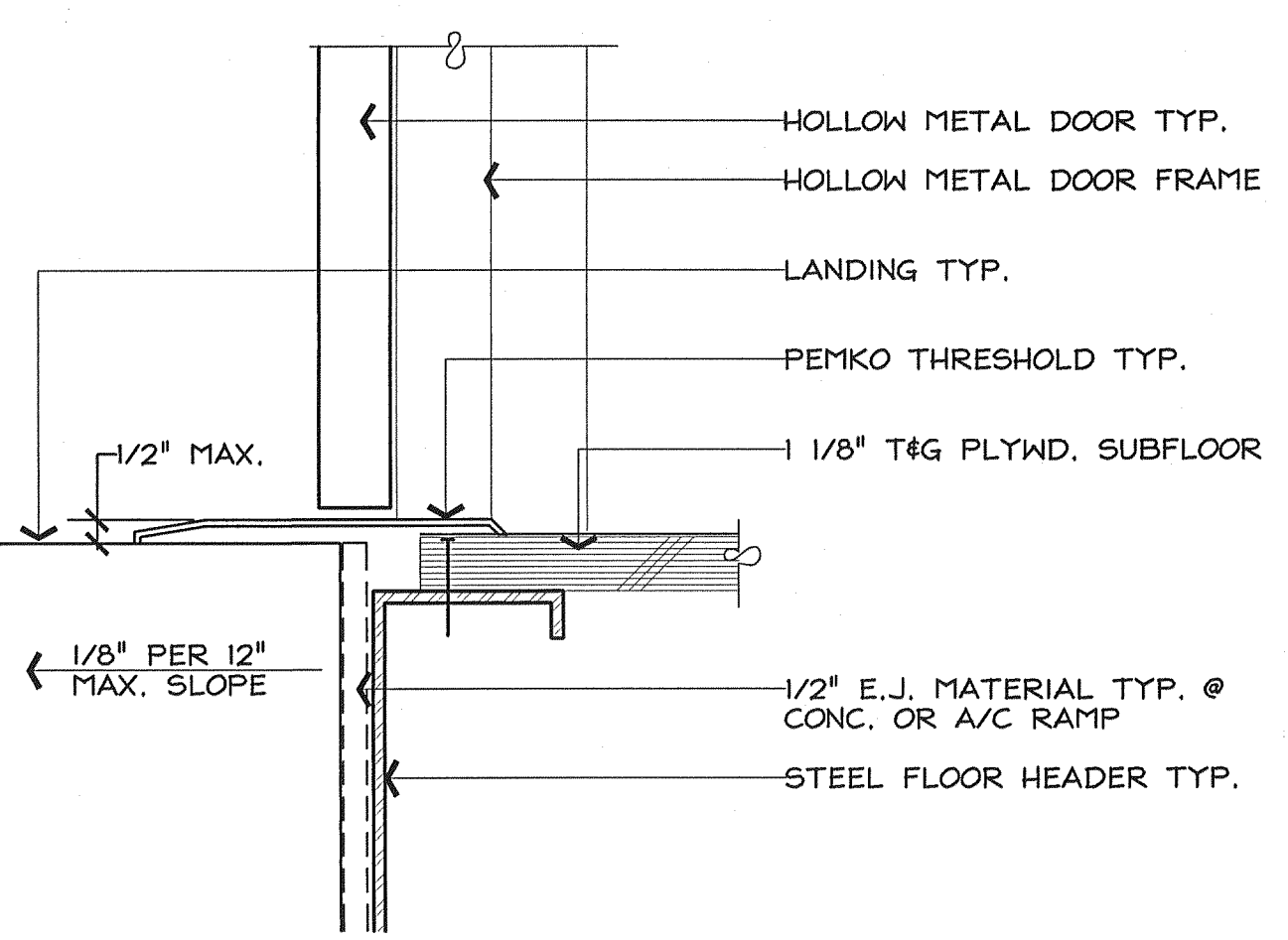
**DOOR JAMB**

SCALE: 3"=1'-0"



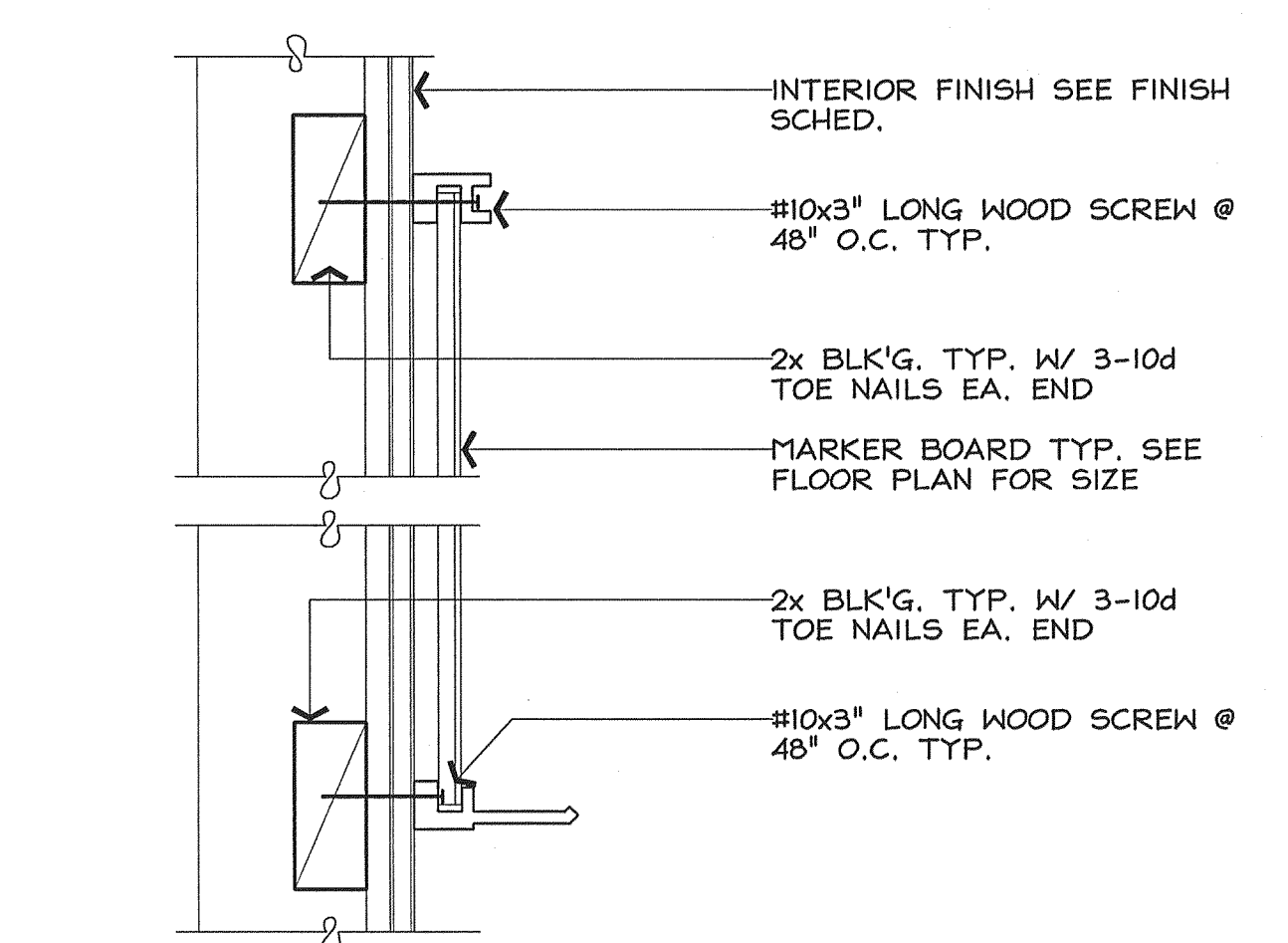
**DOOR HEADER**

SCALE: 3"=1'-0"



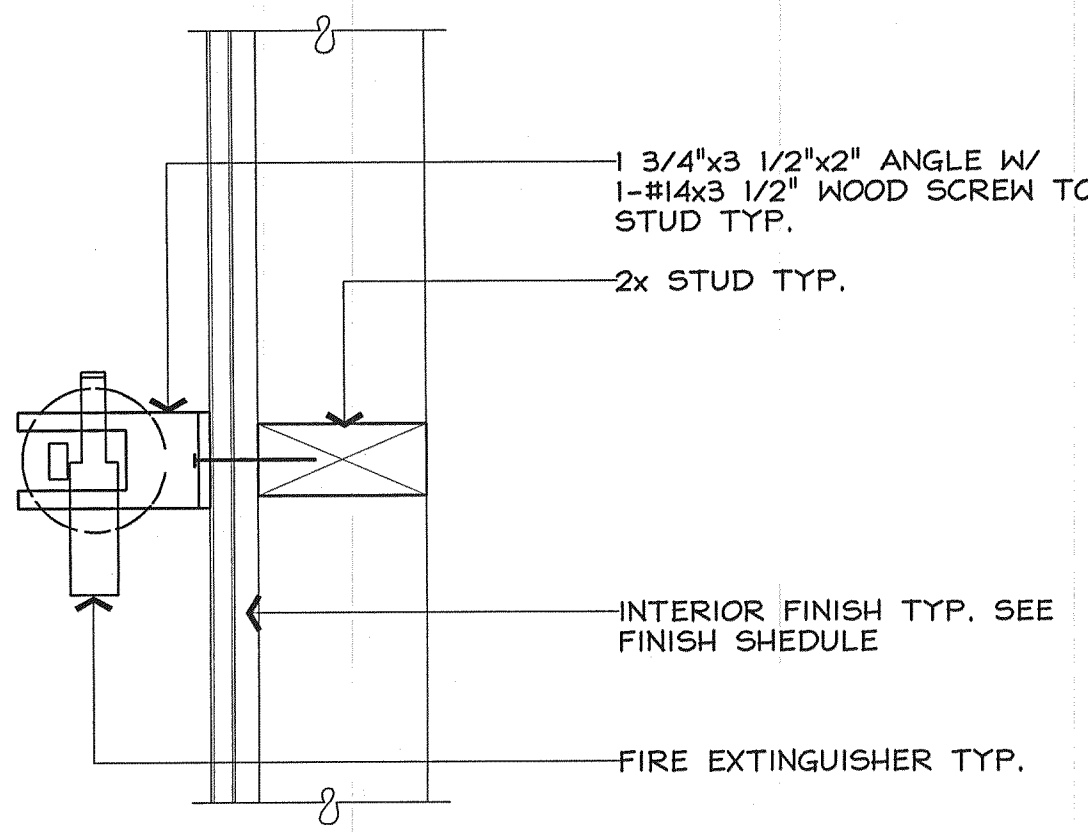
**DOOR BOTTOM**

SCALE: 3"=1'-0"



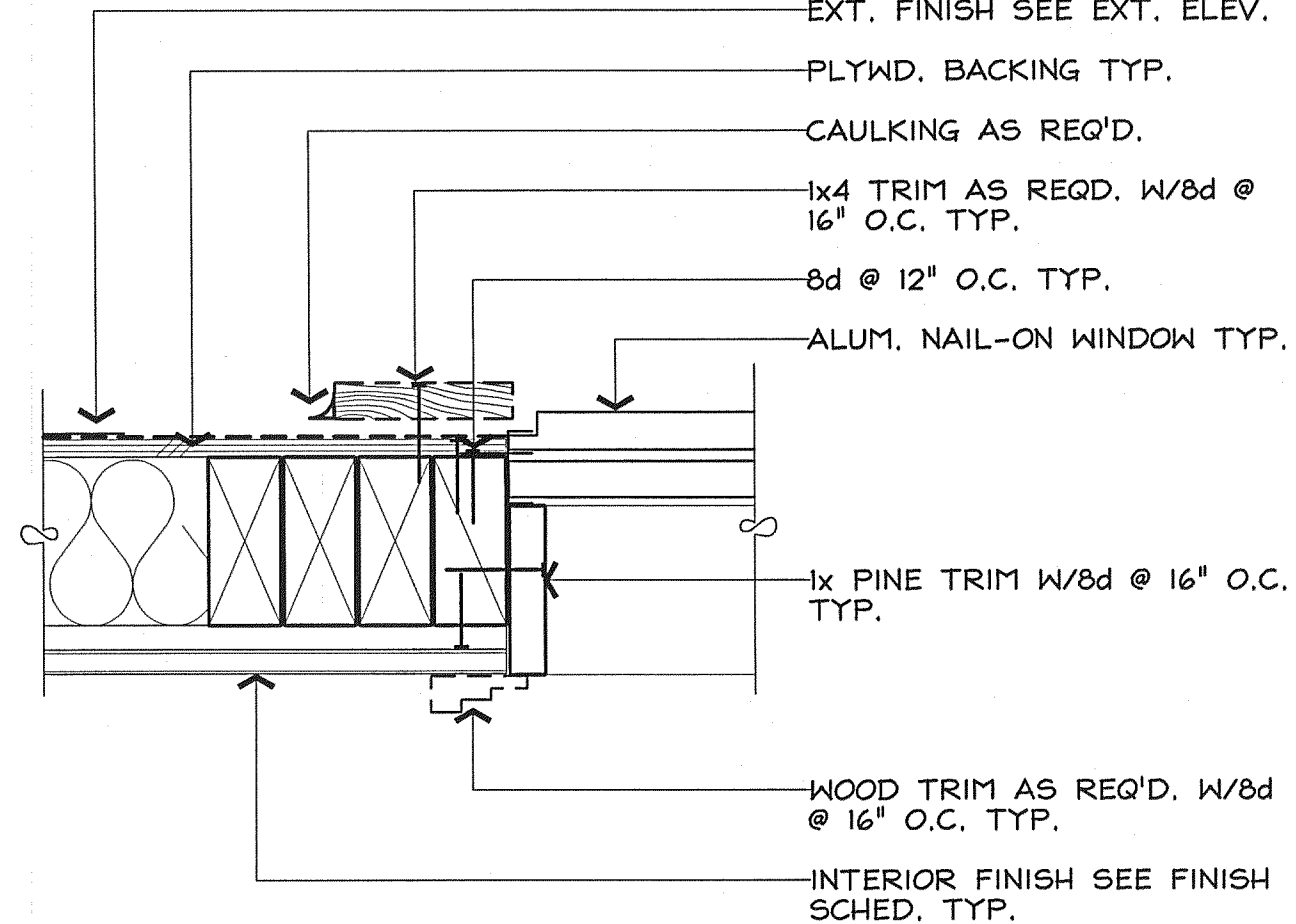
**MARKER BOARD MOUNTING**

SCALE: 3"=1'-0"



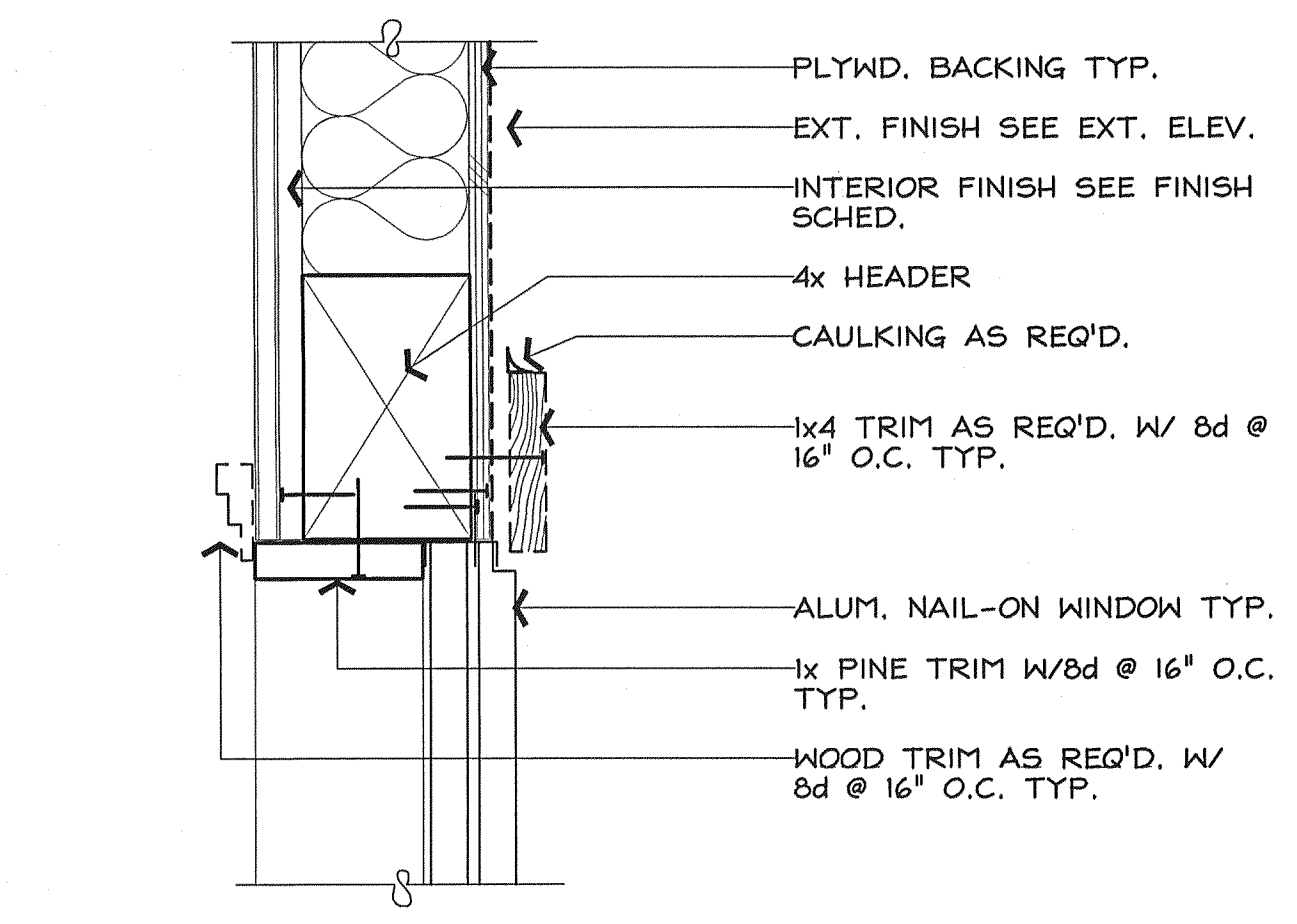
**WALL MOUNTED FIRE EXTING.**

SCALE: 3"=1'-0"



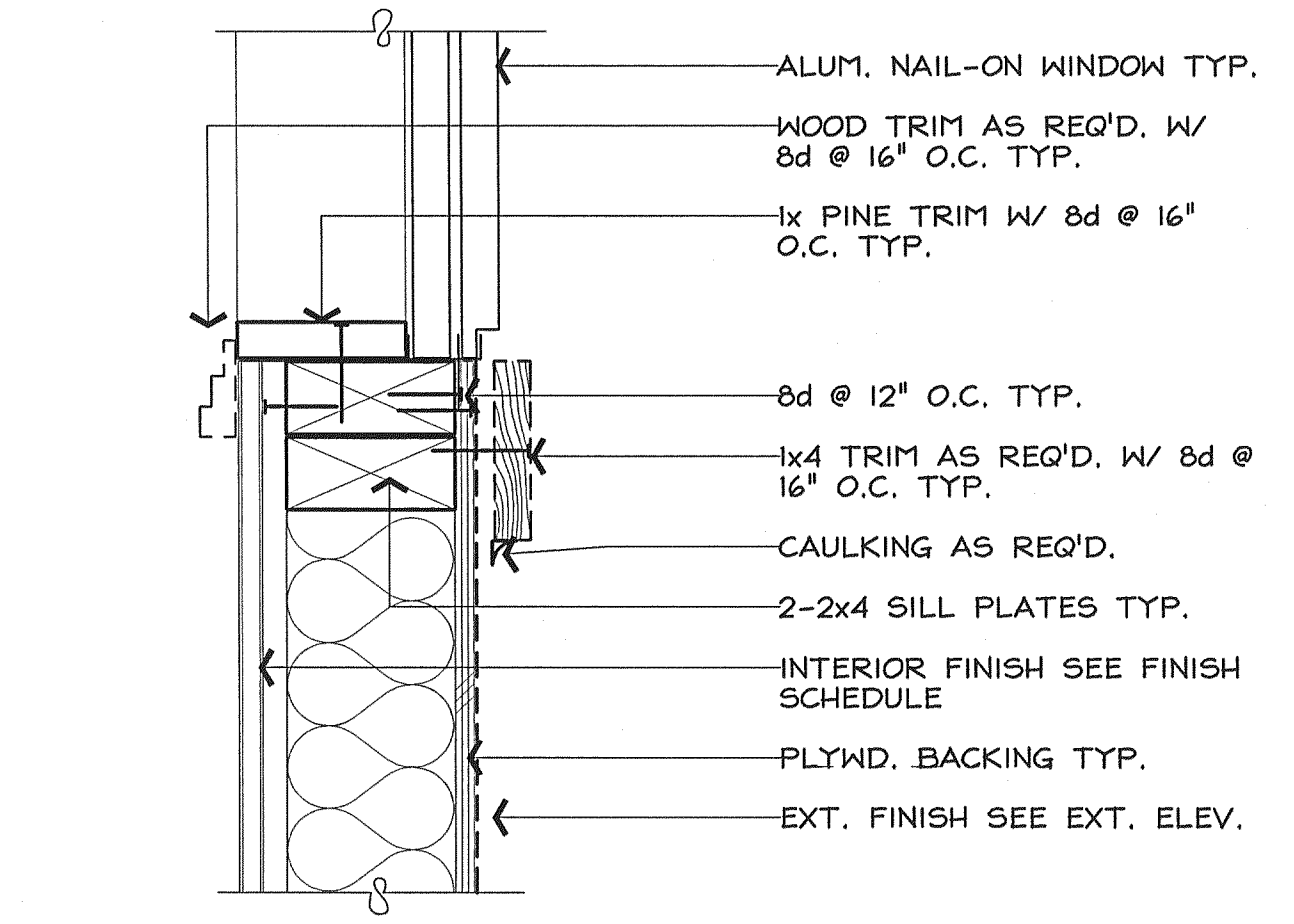
**WINDOW JAMB**

SCALE: 3"=1'-0"



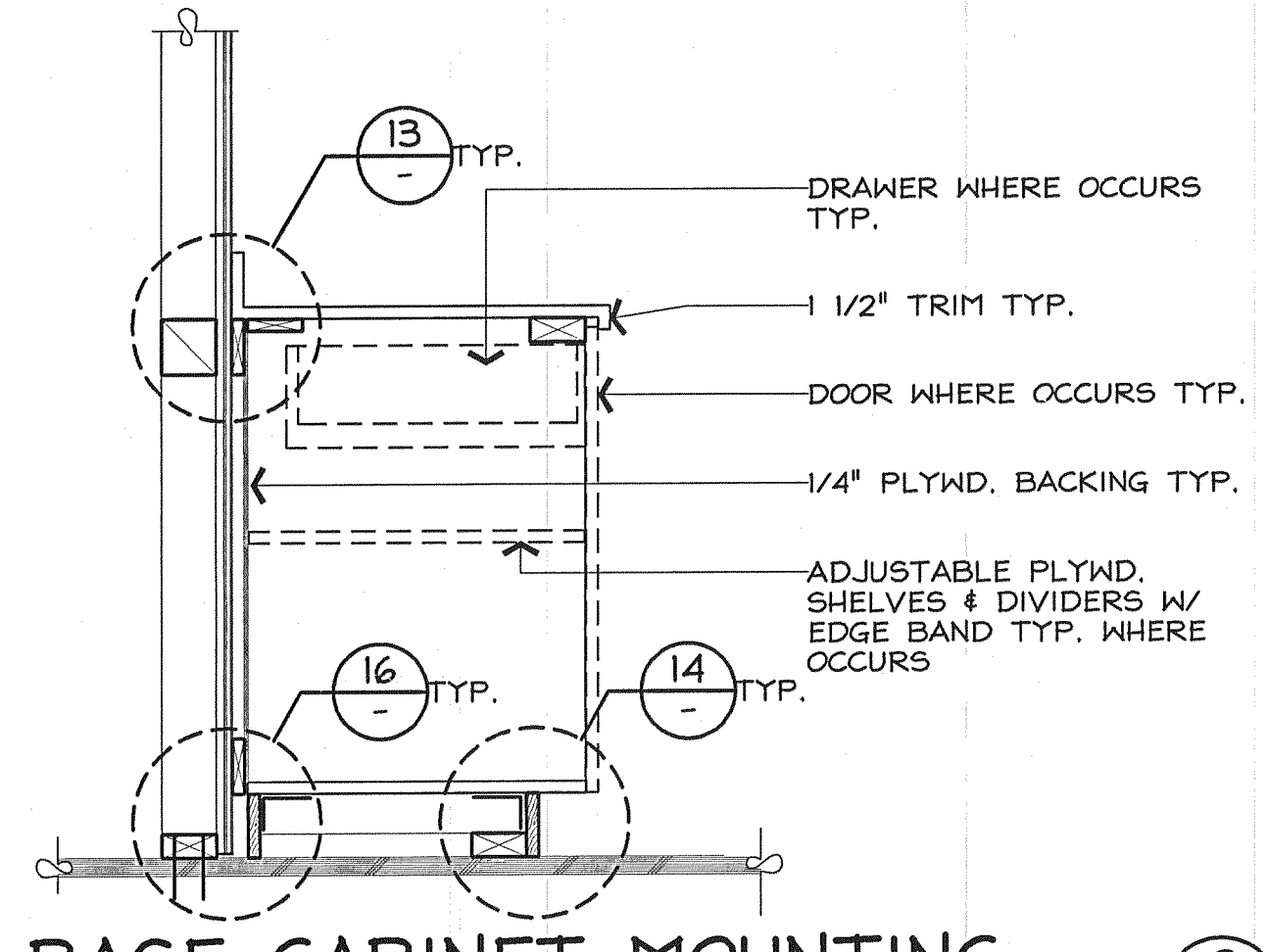
**WINDOW HEADER**

SCALE: 3"=1'-0"



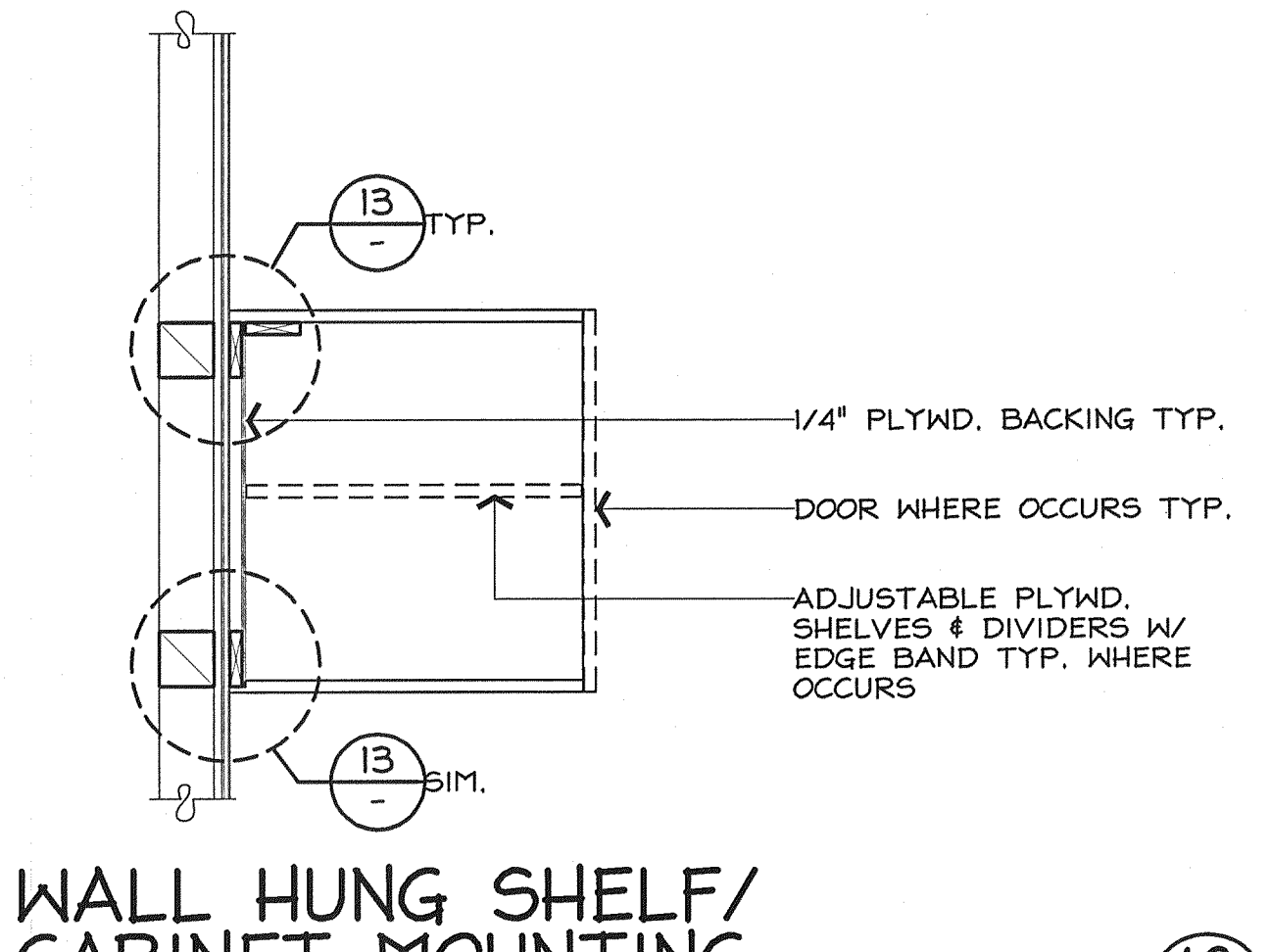
**WINDOW SILL**

SCALE: 3"=1'-0"



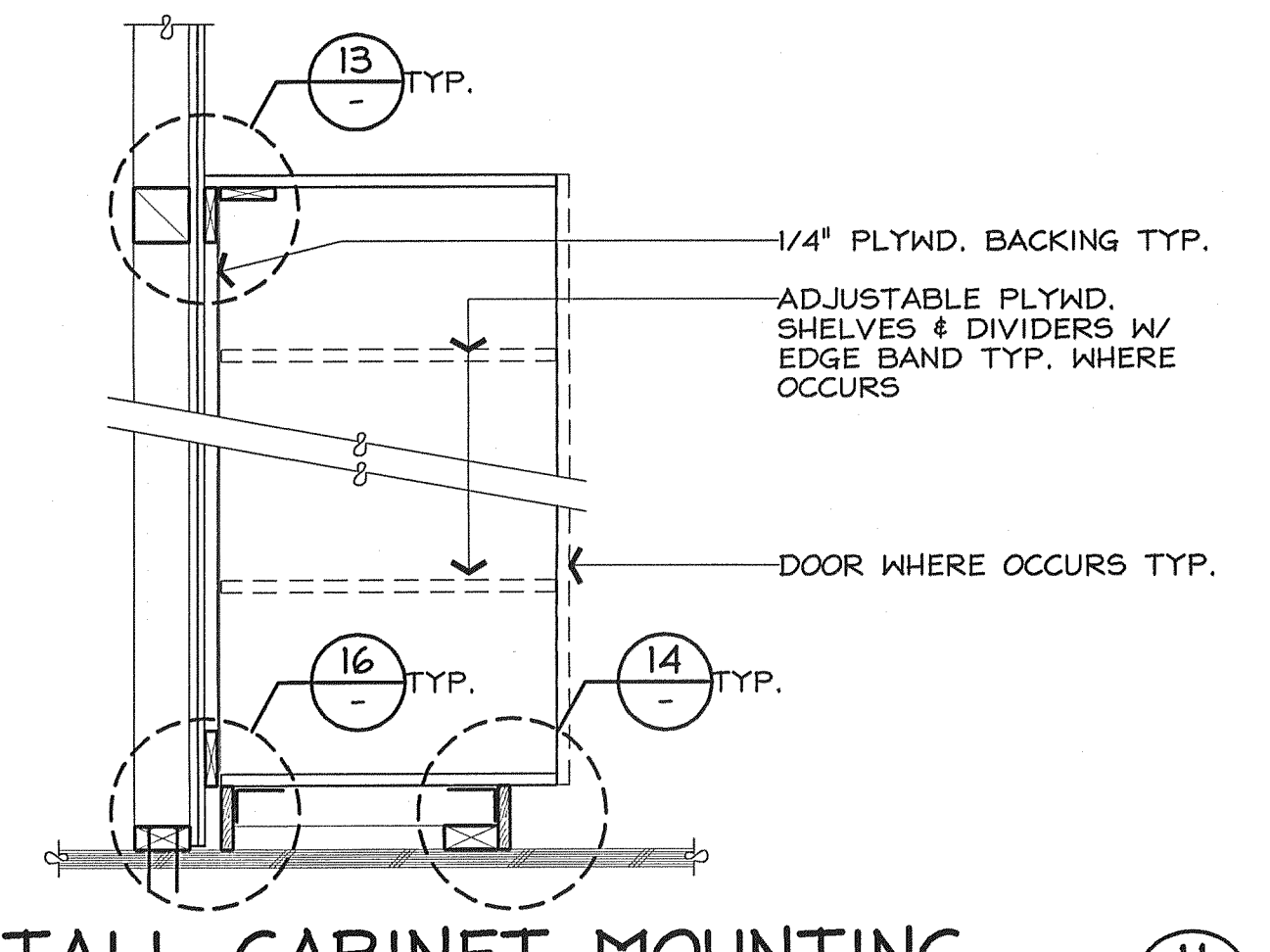
**BASE CABINET MOUNTING**

SCALE: 1"=1'-0"



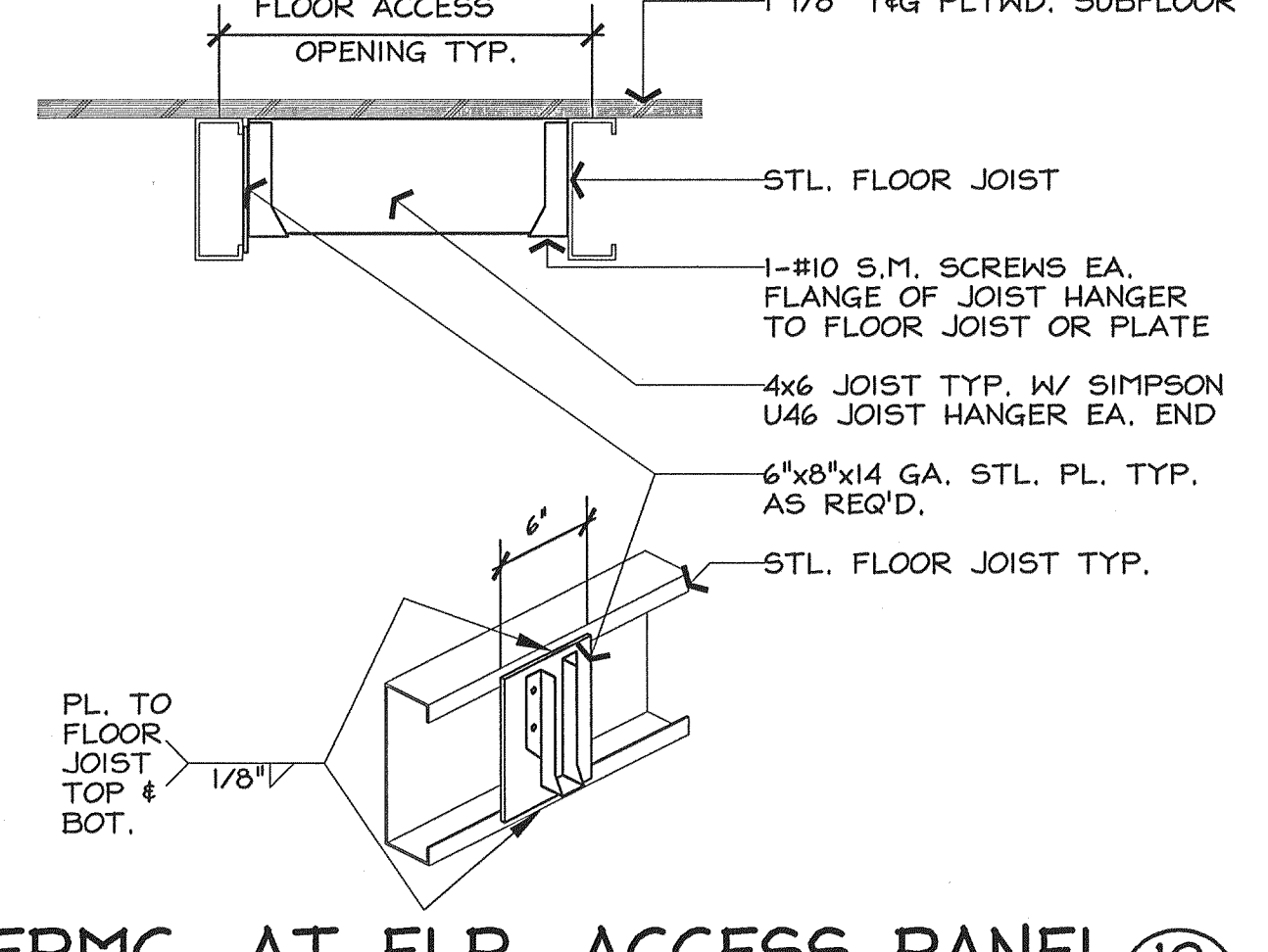
**WALL HUNG SHELF/  
CABINET MOUNTING**

SCALE: 1"=1'-0"



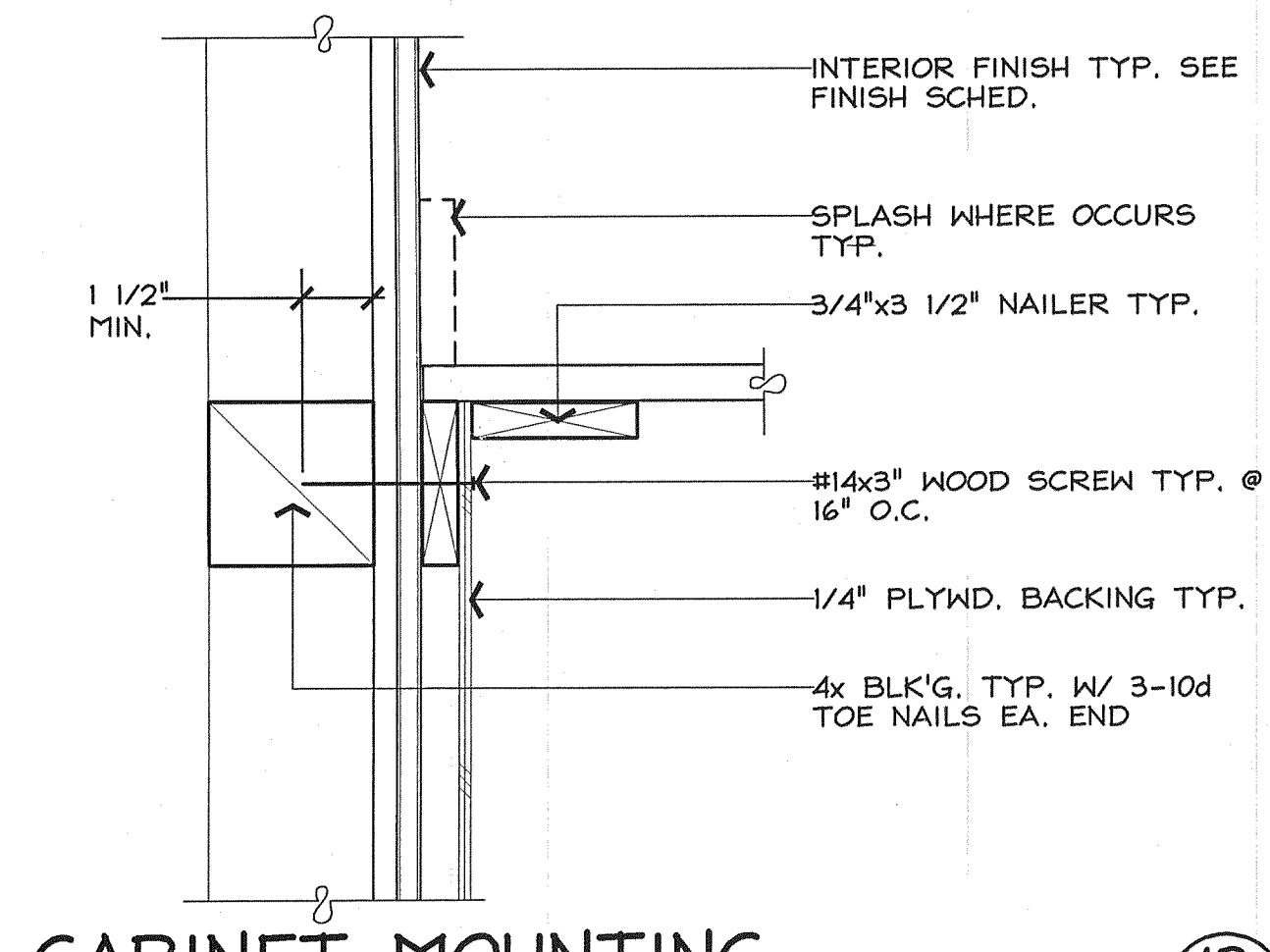
**TALL CABINET MOUNTING**

SCALE: 1"=1'-0"



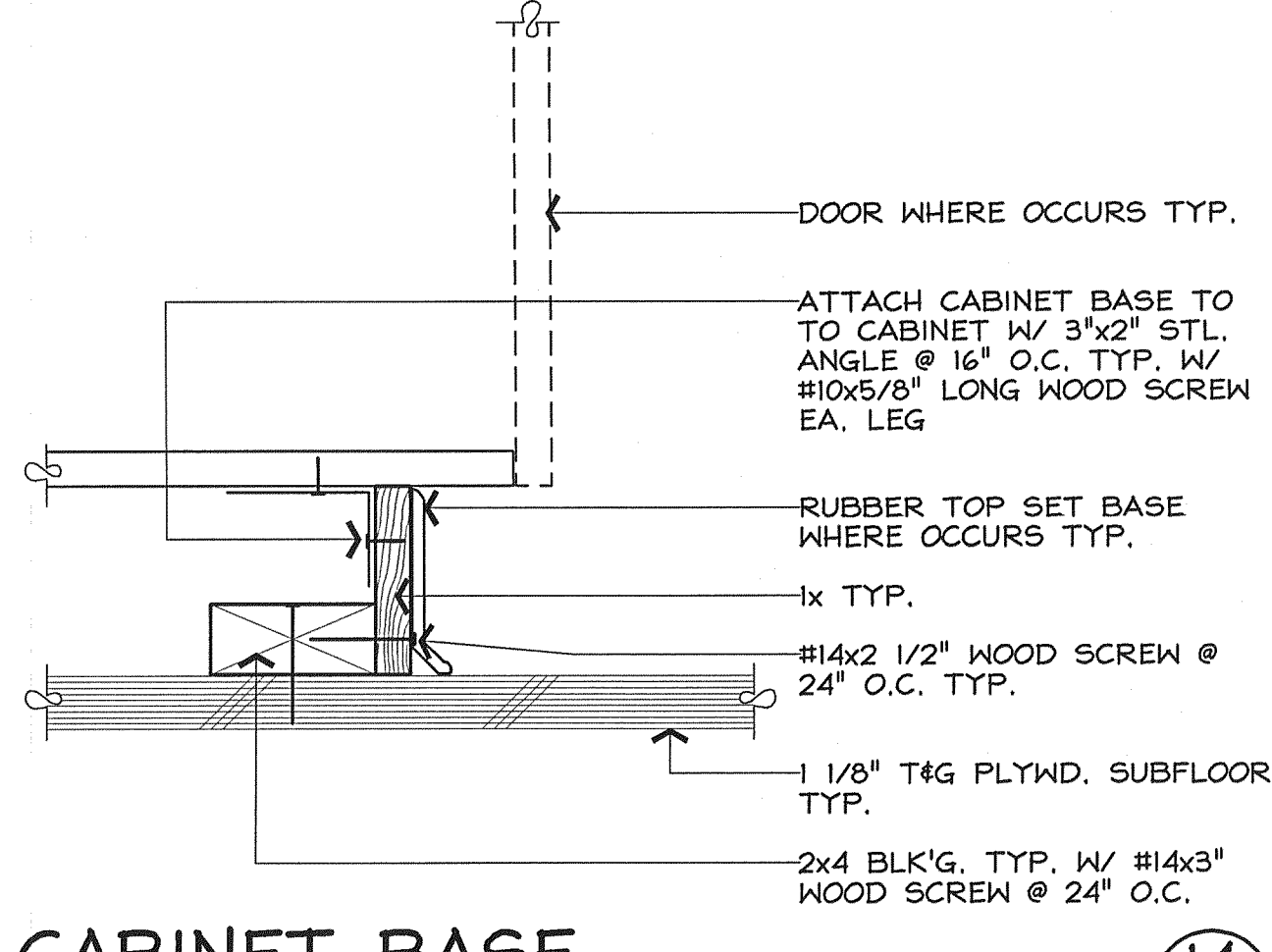
**FRMG. AT FLR. ACCESS PANEL**

SCALE: 1"=1'-0"



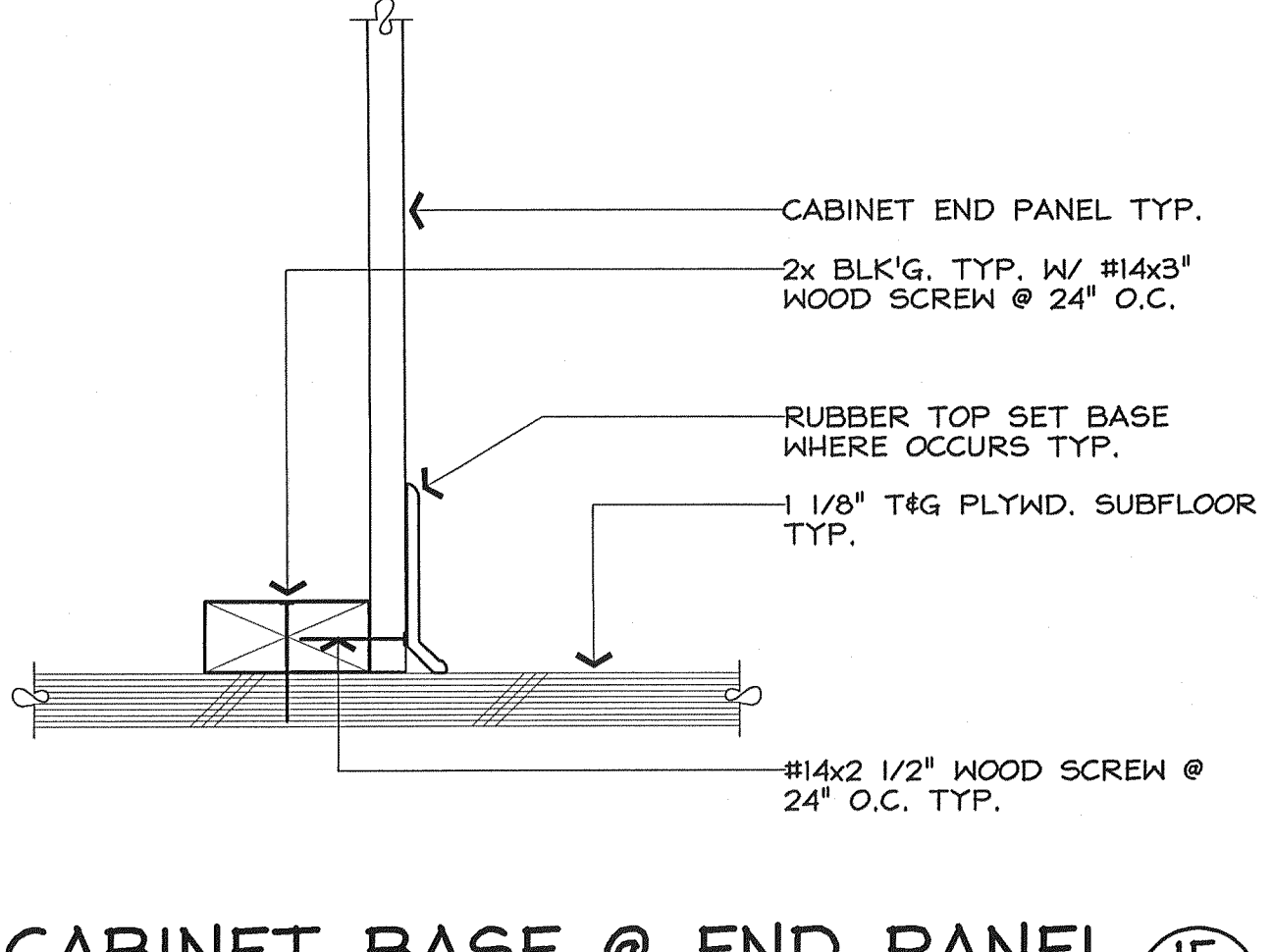
**CABINET MOUNTING**

SCALE: 3"=1'-0"



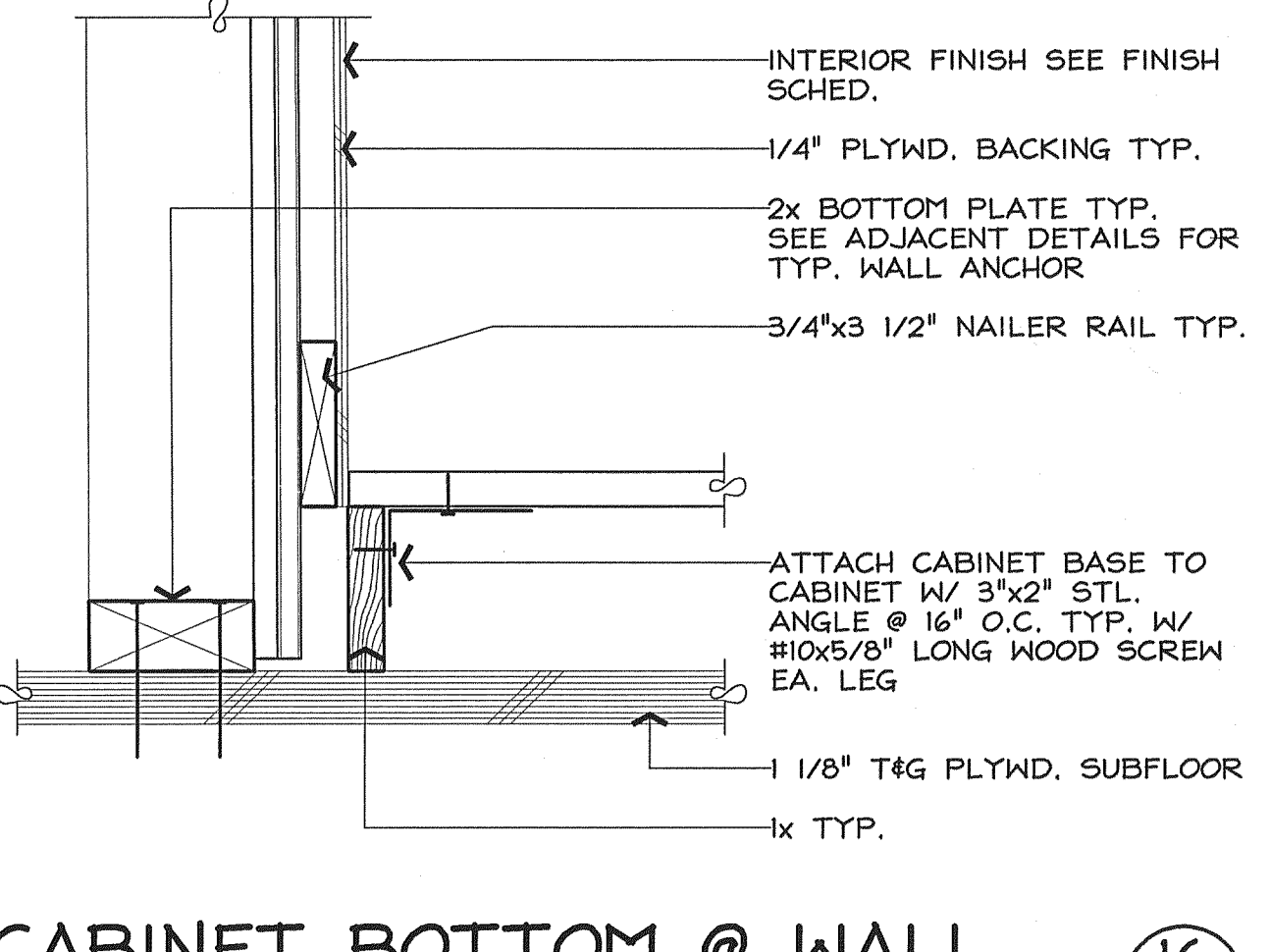
**CABINET BASE**

SCALE: 3"=1'-0"



**CABINET BASE @ END PANEL**

SCALE: 3"=1'-0"



**CABINET BOTTOM @ WALL**

SCALE: 3"=1'-0"

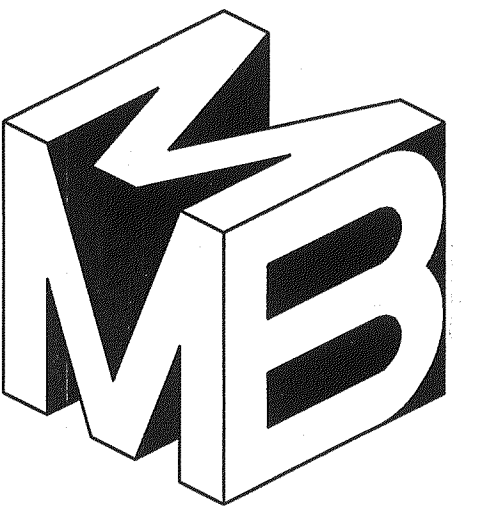
DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

ARCHITECTURAL DETAILS  
 New Building for: Las Gallinas Valley Sanitary District  
 San Rafael, California

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

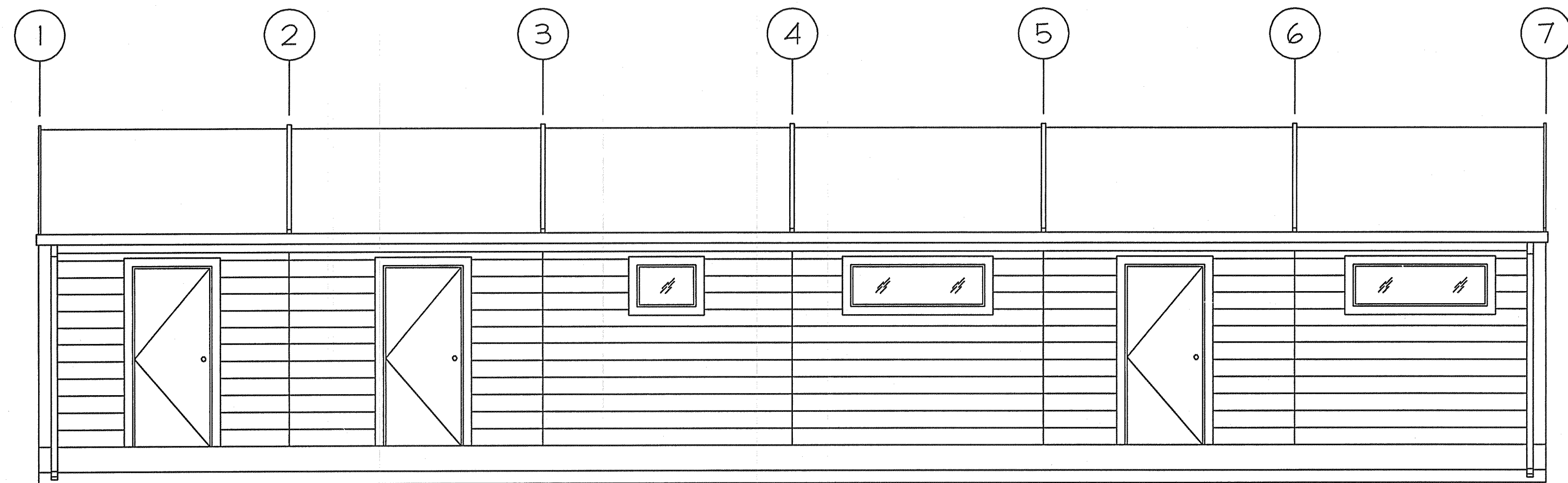
STRUCTURAL ENGINEER
SHEET NO.
A-4
OF SHEETS
JOB NO.: 00415





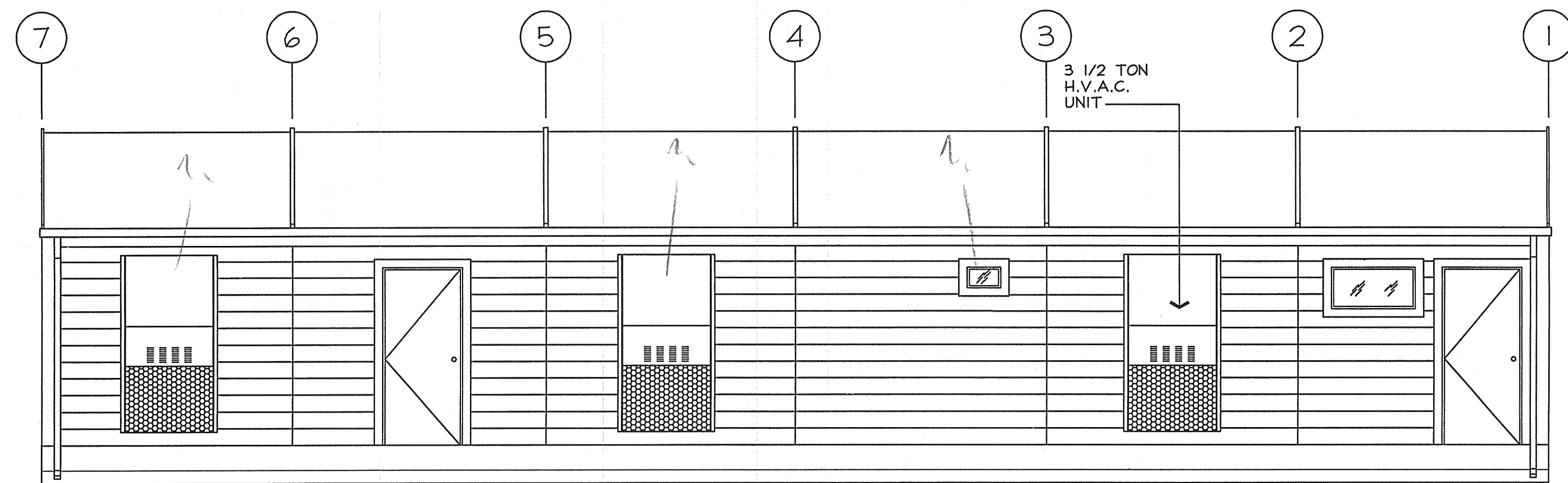
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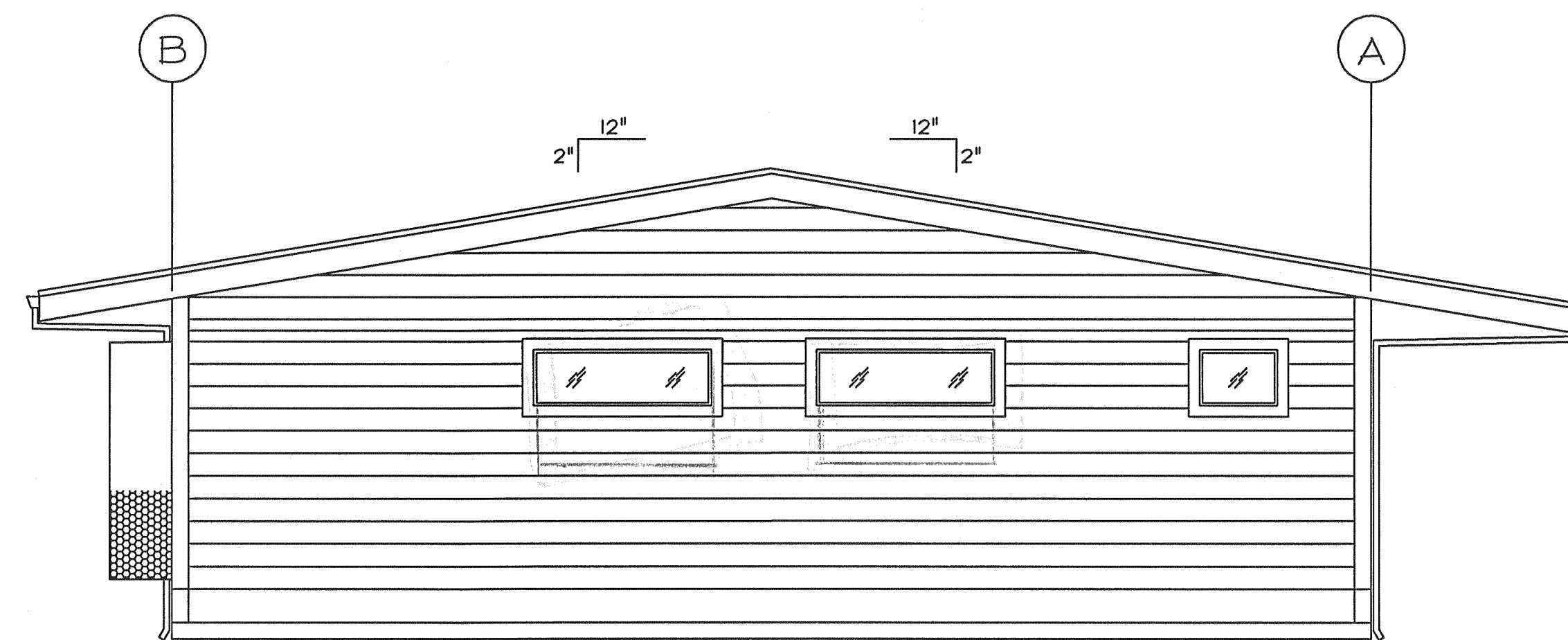
EXTERIOR ELEV. - SOUTH

SCALE 1/4"=1'-0"



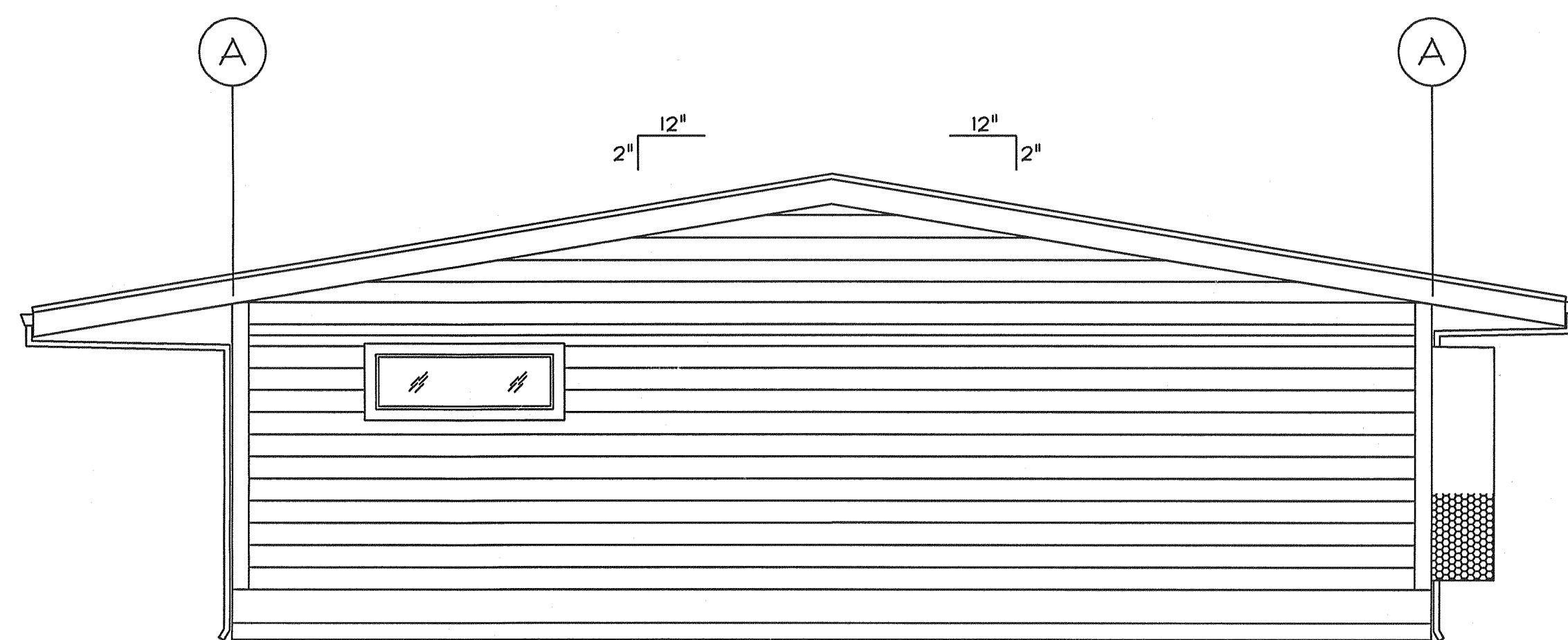
EXTERIOR ELEV. - NORTH

SCALE 1/4"=1'-0"



EXTERIOR ELEV. - EAST

SCALE 1/4"=1'-0"



EXTERIOR ELEV. - WEST

SCALE 1/4"=1'-0"

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

EXTERIOR ELEVATIONS

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

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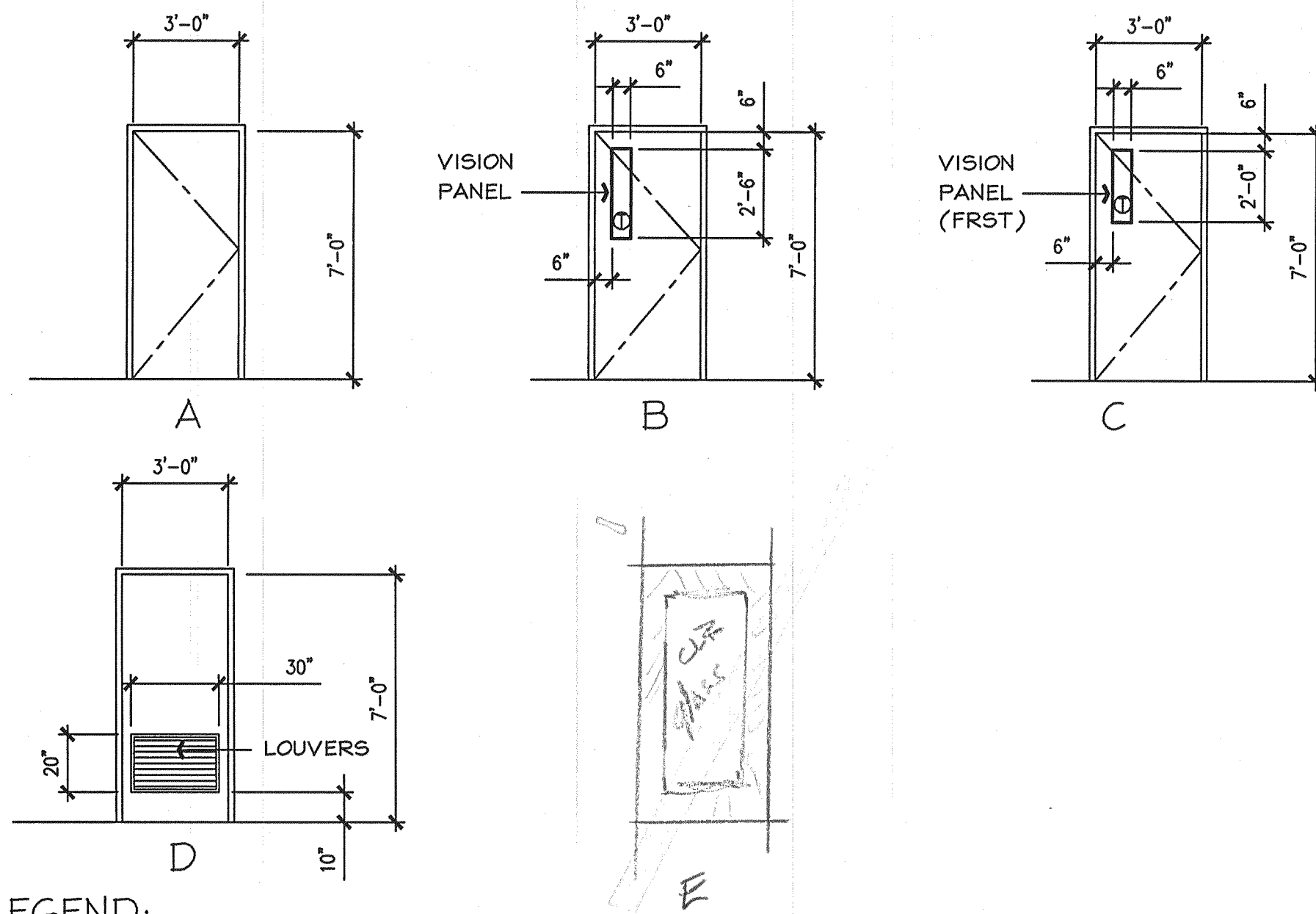
**PRELIMINARY**  
NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

SHEET NO.  
**A-5**  
OF SHEETS

JOB NO.: 00415

DOOR TYPES



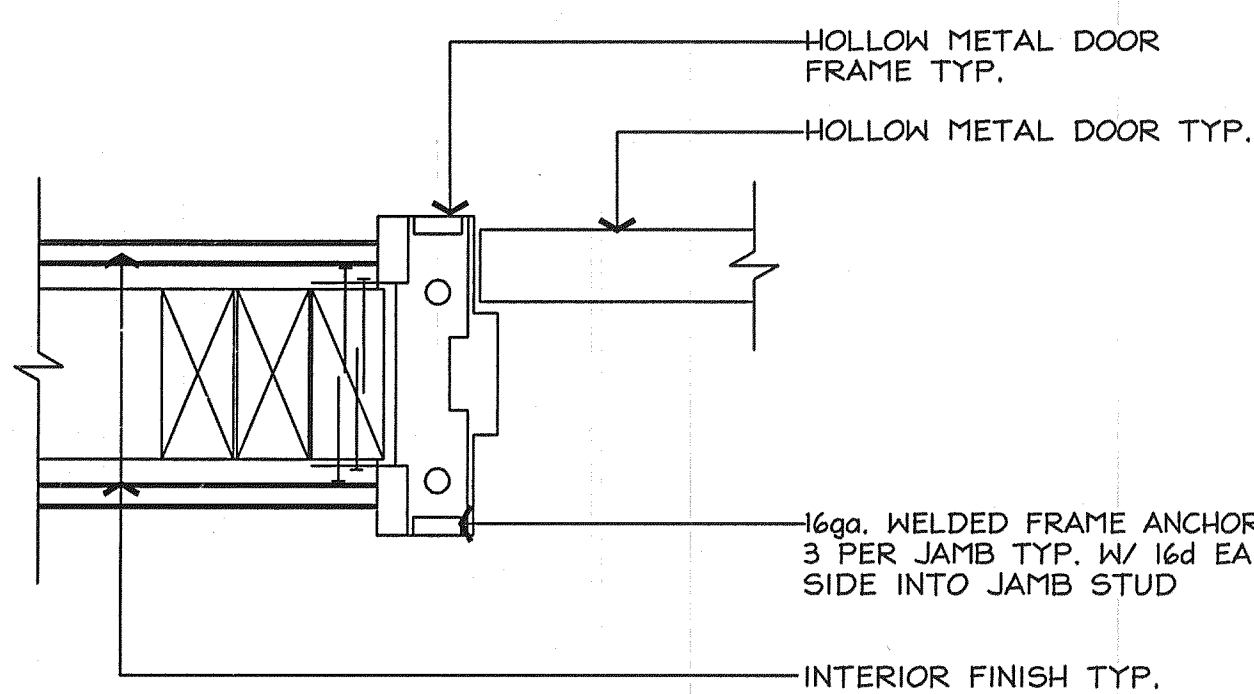
LEGEND:  
 FRST = FROSTED  
 CLR = CLEAR  
 TEMP = TEMPERED  
 ⊙ = TEMPERED GLASS  
 FR = FIRE RATED

SCALE = 1/4" = 1'-0"

DOOR SCHEDULE

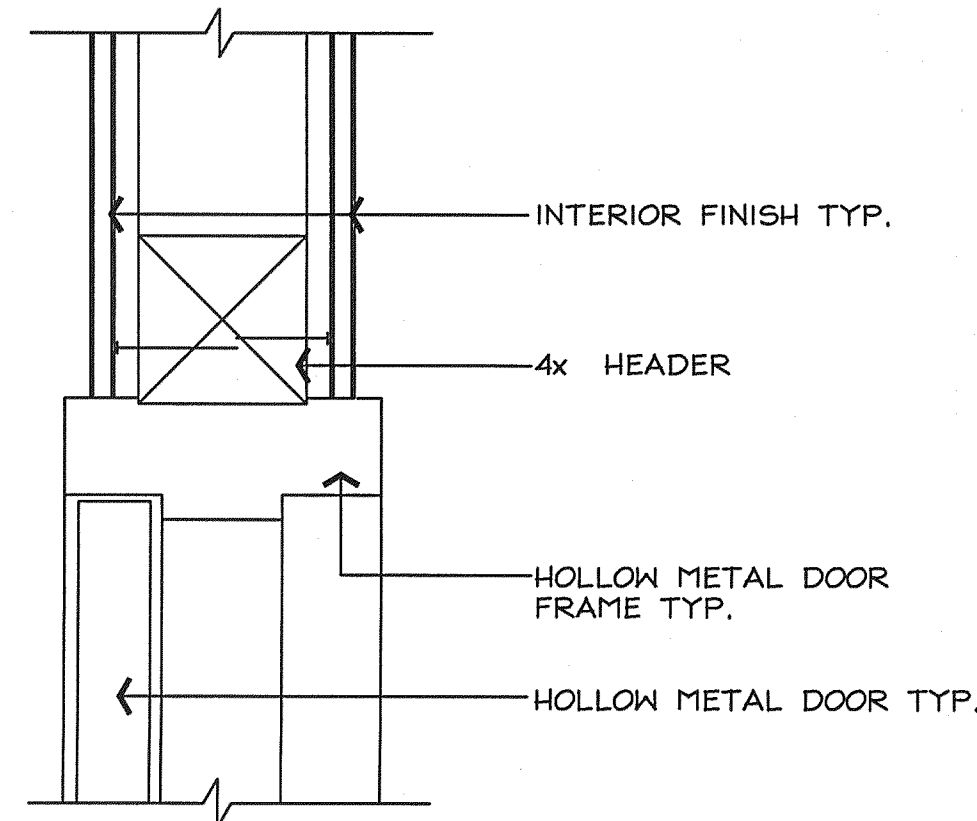
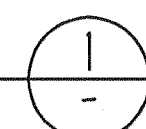
NO	SIZE	DOOR	FRAME	DETAILS	HARDWARE	REMARKS				
	WxHxT	TYPE	MAT'L	TYPE	MAT'L	HEAD	JAMB	SILL	GROUP	
01	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-5	1/A-5	3/A-5		
02	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-5	1/A-5	3/A-5		
03	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-5	1/A-5	3/A-5		
04	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-5	1/A-5	3/A-5		
05	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-5	1/A-5	3/A-5		
06	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		
07	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		
08	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		
09	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		
10	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		
11	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		
12	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		Clear glass - center panel
13	3'0" X 7'0" X 1 3/4"	A	HM1	A	HM1	2/A-6	1/A-6	N/A		

NOTES:



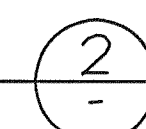
INT. DOOR JAMB

SCALE: 3"=1'-0"



INT. DOOR HEAD

SCALE: 3"=1'-0"



ROOM FINISH SCHEDULE

ROOM	FLOOR MATERIAL	BASE		WALL MATERIAL				CEILING		REMARKS
		MATERIAL	HT.	NORTH	WEST	SOUTH	EAST	MATERIAL	HT.	
PREP ROOM	A 1	B 1	5 1/4"	C 1	C 1	C 1	C 1	D 1	7'-9"	
CLASSROOM	A 1	B 1	4"	C 1	C 1	C 1	C 1	D 1	7'-9"	
RESTROOM 1	A 2	B 2	6"	C 2	C 2	C 2	C 2	D 1	7'-9"	
SHOWERS/LOCKERS	A 2	B 2	6"	C 2	C 2	C 2	C 2	D 1	7'-9"	
WALK-IN CLOSET 1	A 1	B 1	1/4"	C 1	C 1	C 1	C 1	D 1	7'-9"	
WALK-IN CLOSET 2	A 1	B 1	1/4"	C 1	C 1	C 1	C 1	D 1	7'-9"	
RESTROOM 2	A 2	B 2	6"	C 2	C 2	C 2	C 2	D 1	7'-9"	
MAIN LAB	A 2	B 1	1/4"	C 1	C 1	C 1	C 1	D 1	VARIES 7'-9" MIN. 10'-9" MAX.	
BIOASSY LAB	A 2	B 1	1/4"	C 1	C 1	C 1	C 1	D 1	7'-9"	
OFFICE	A 1	B 1	4"	C 1	C 1	C 1	C 1	D 1	7'-9"	

FLOOR FINISHES

A1 CARPET  
 A2 SHEET VINYL

BASE FINISHES

B1 4" RUBBER TOPSET BASE  
 B2 6" SHEET VINYL COVERED

WALL FINISHES

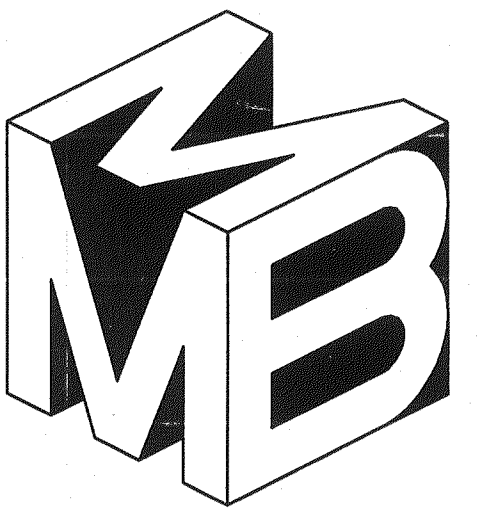
C1 VINYL COVERED TACKBOARD O/  
 GYPSUM WALL BOARD  
 C2 1/8" F.R.P. O/ WATER RESISTANT  
 GYPSUM WALL BOARD

CEILING FINISHES

D1 DROP-IN ACOUSTICAL TILES IN A  
 SUSPENDED T-BAR GRID SYSTEM

FINISH MATERIAL NOTES:

CEILING FINISHES TO HAVE A FLAME SPREAD OF 0-25, AND A SMOKE DENSITY LESS THAN 450.  
 WALL FINISHES TO HAVE A FLAME SPREAD RATING OF CLASS III 76-200, AND A SMOKE DENSITY LESS THAN 450.  
 FLOOR FINISHES TO HAVE A SMOKE DENSITY LESS THAN 450.



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 CA. LIC. NO. 473488  
 NV. LIC. NO. 37887

DATE: JUNE 12, 2000

DRAWN: BLD

CHECKED:

REVISIONS:

INT. FINISH SCHEDULE & DOOR SCHEDULE

New Building for: Las Gallinas Valley Sanitary District  
 San Rafael, California

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STRUCTURAL ENGINEER

SHEET NO.

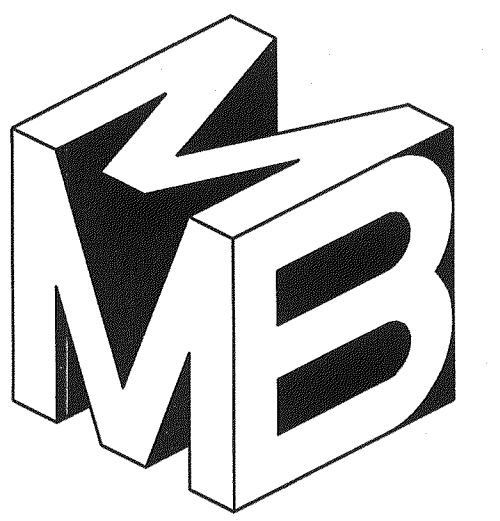
A-6

OF SHEETS

JOB NO.: 00415

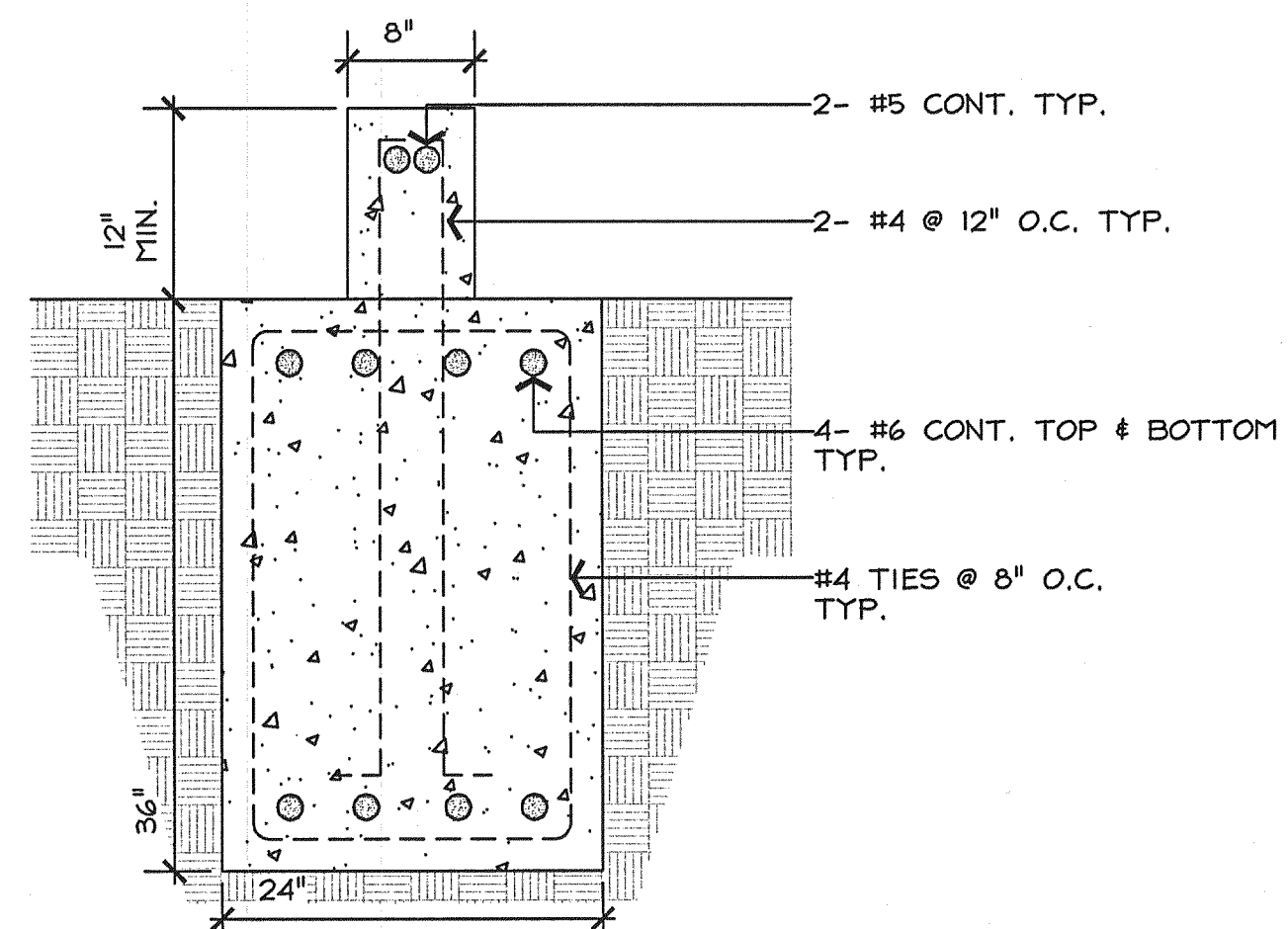




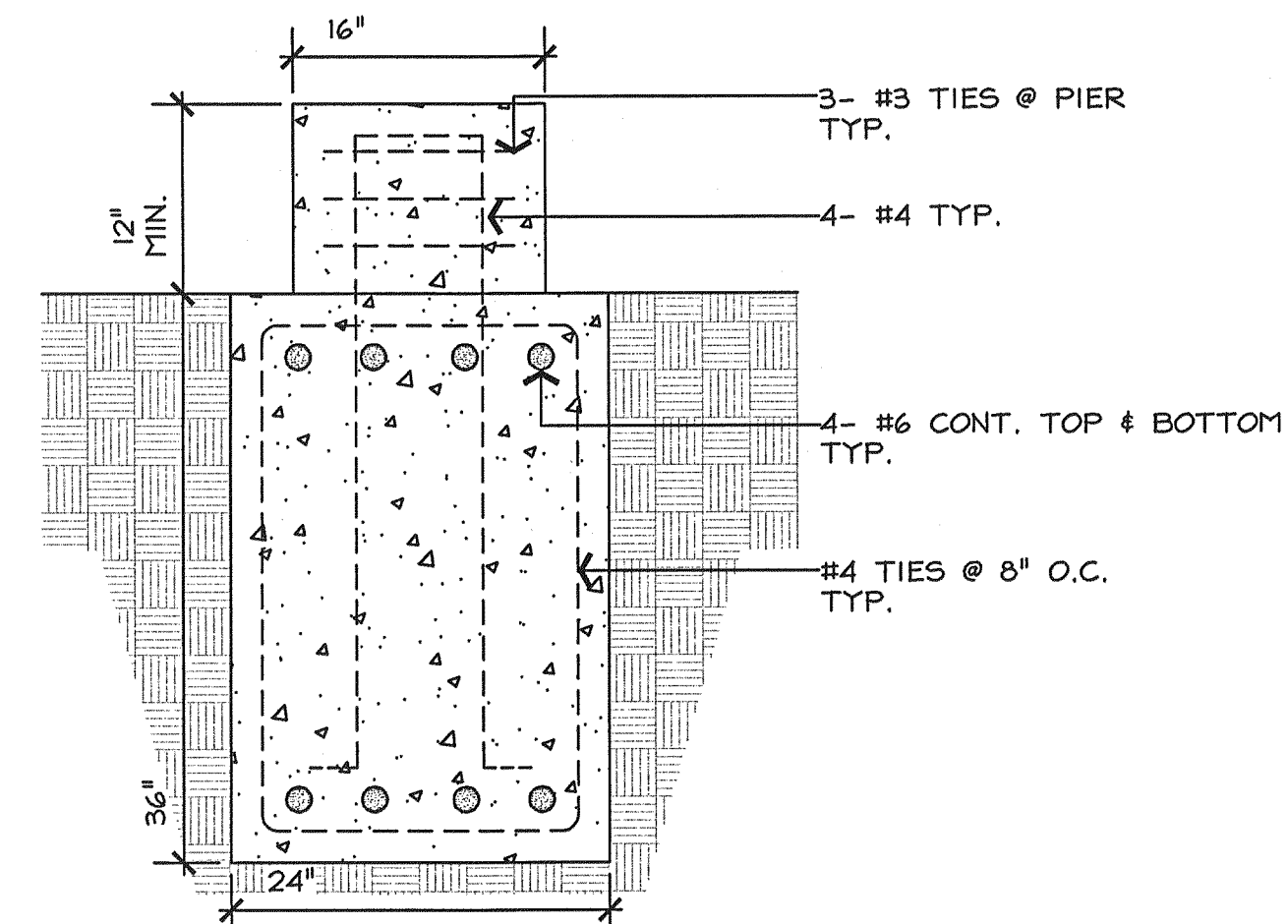


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A DESIGN BUILD  
COMPANY

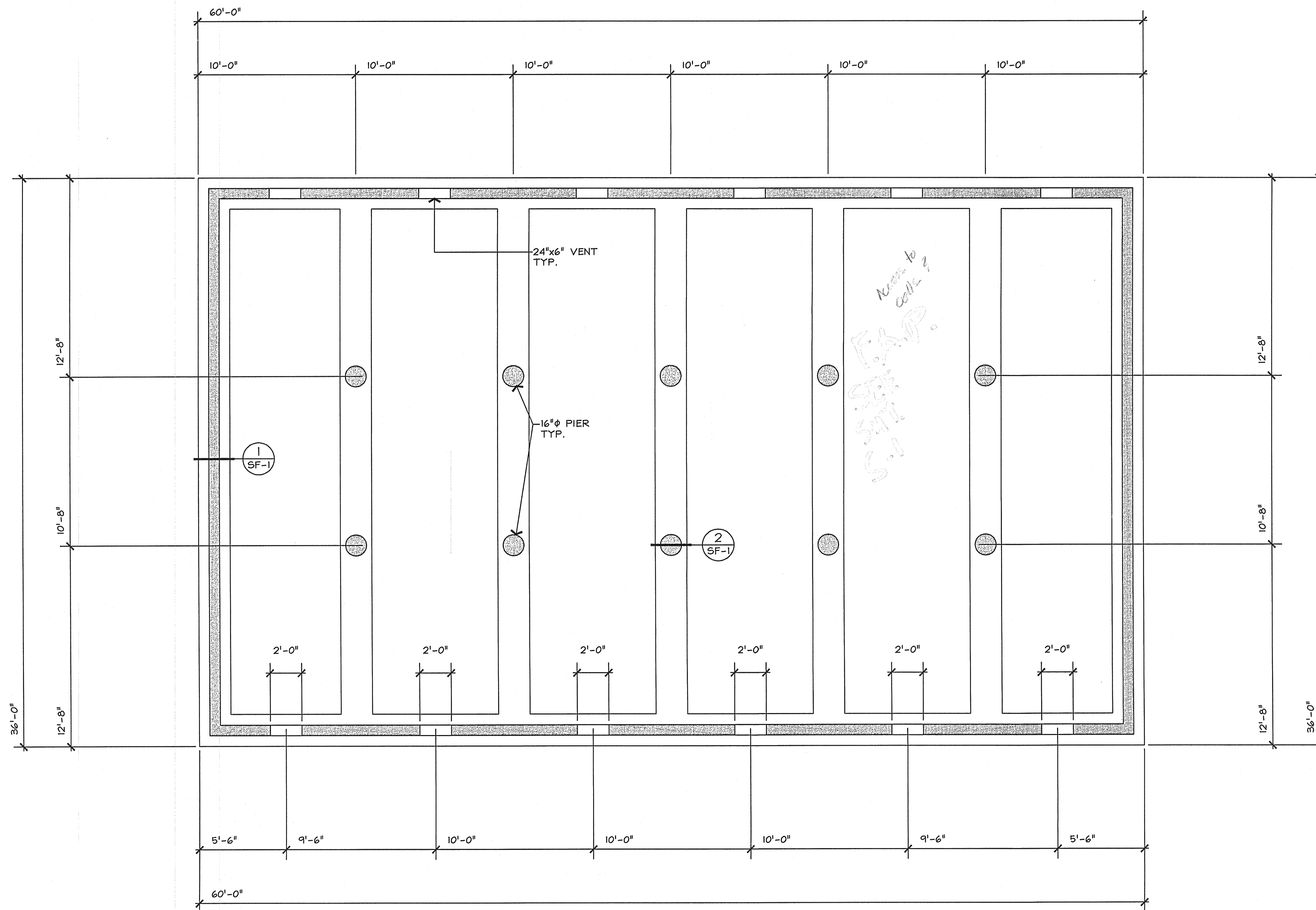
1303 E. LODI AVE.  
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(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887



TYP. FOUNDATION DETAIL  
SCALE: 1"=1'-0"



FOUNDATION @ PIER  
SCALE: 1"=1'-0"



FOUNDATION PLAN

SCALE 1/4"=1'-0"

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

FOUNDATION PLAN WITH DETAILS

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

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**PRELIMINARY**  
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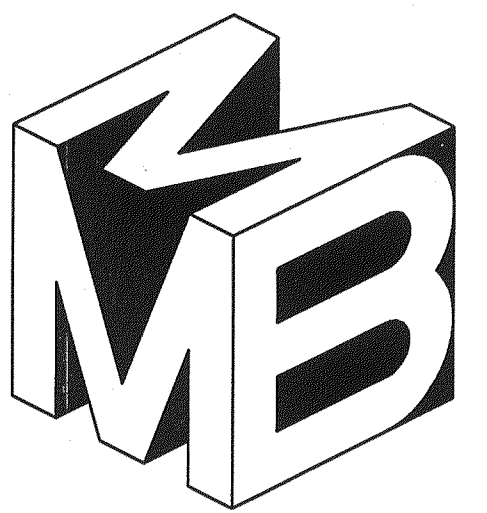
STRUCTURAL ENGINEER

SHEET NO.  
**SF-1**

OF SHEETS

JOB NO.: 00415

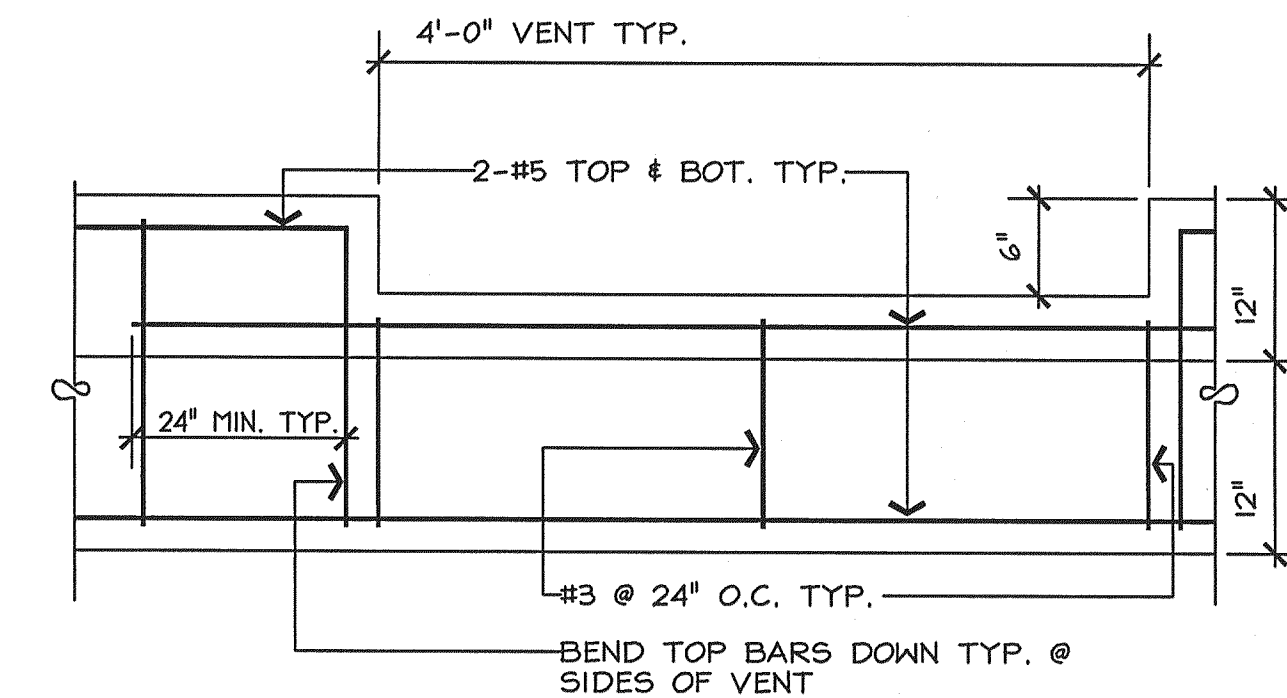




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NV. LIC. NO. 37887

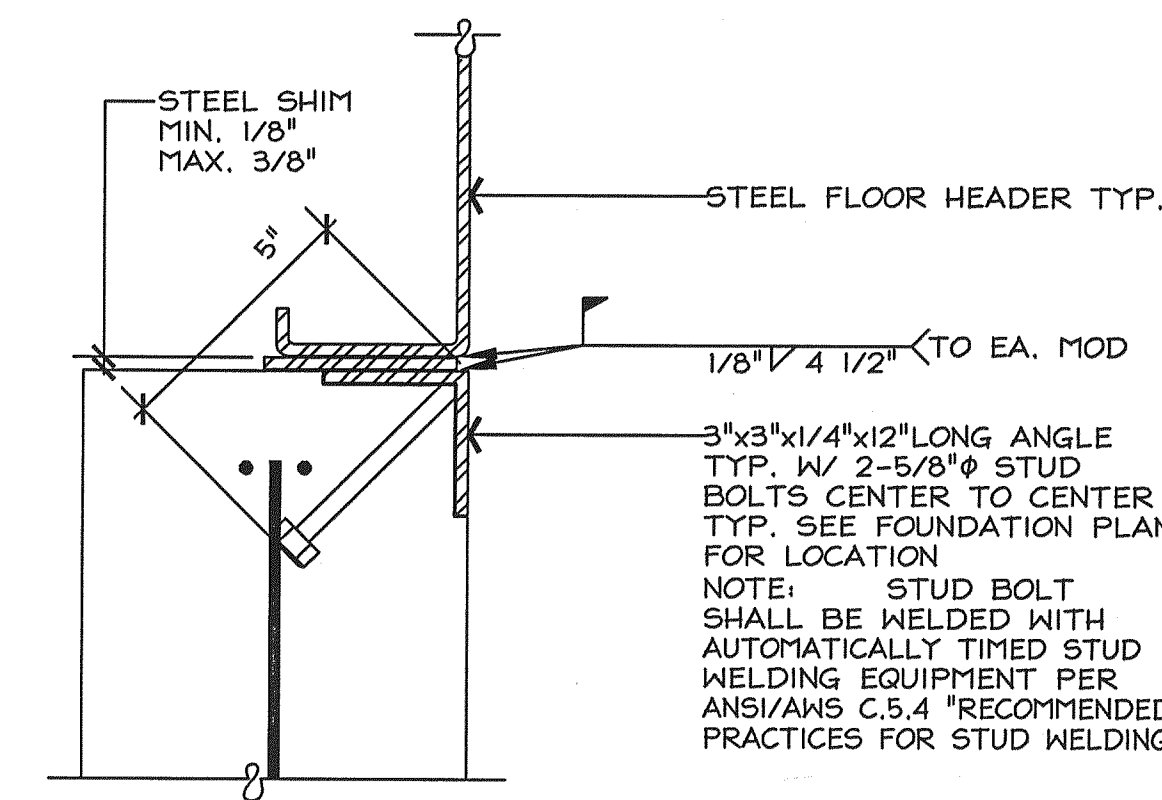
DATE:	JUNE 12, 2000
DRAWN:	BLB
CHECKED:	
REVISIONS:	



VENT ELEVATION

SCALE: 1"=1'-0"

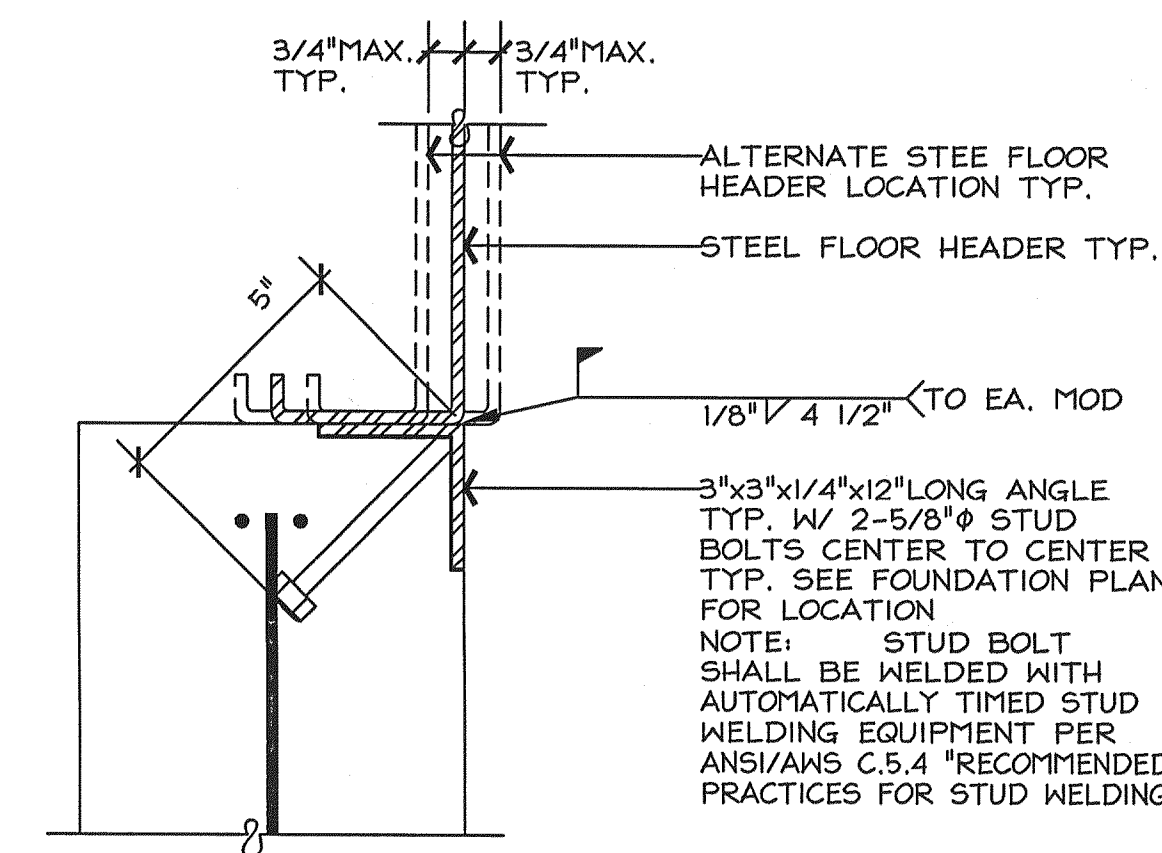
18



SHIM @ WELD PLATE

SCALE: 3"=1'-0"

7



TYP. WELD PLATE

SCALE: 3"=1'-0"

6

FOUNDATION PLAN WITH DETAILS

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

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STRUCTURAL ENGINEER

SHEET NO.

SF-2

OF SHEETS

JOB NO.: 00415

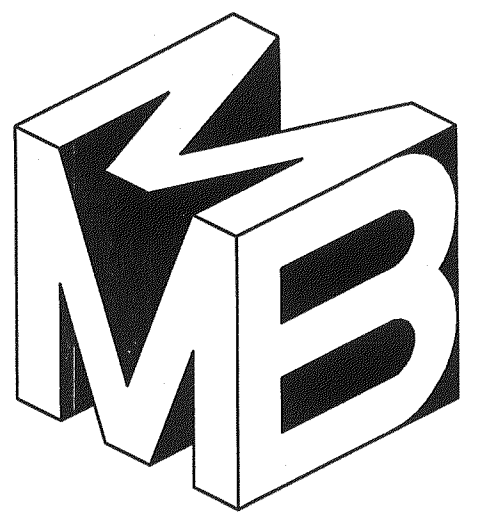






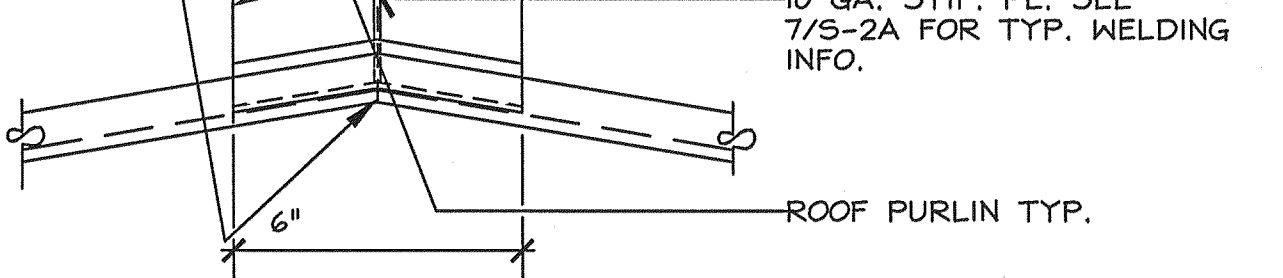
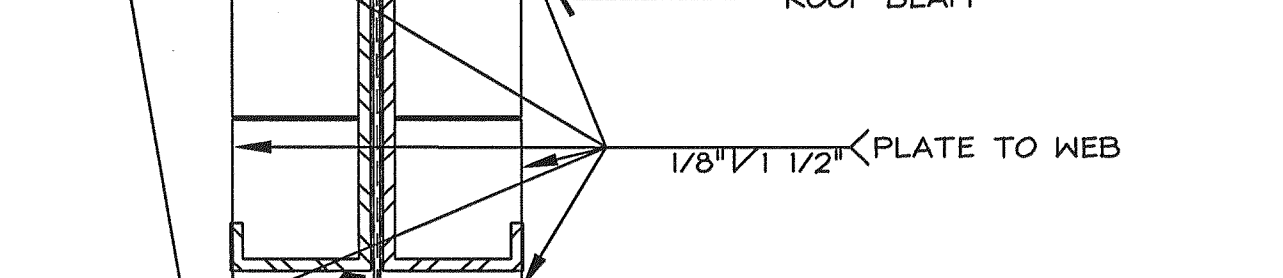
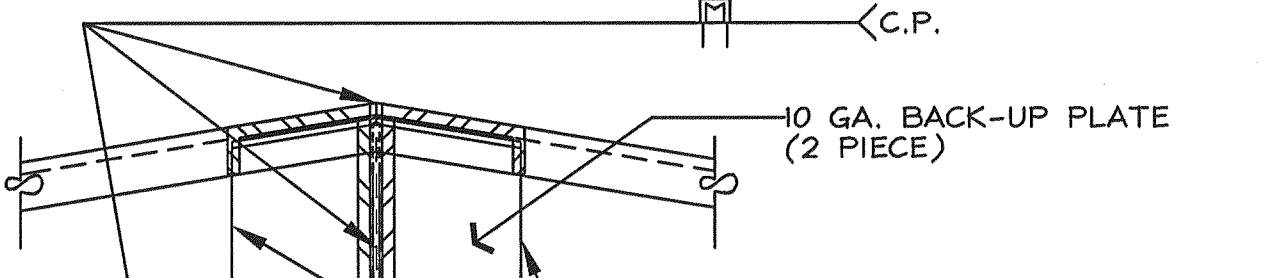
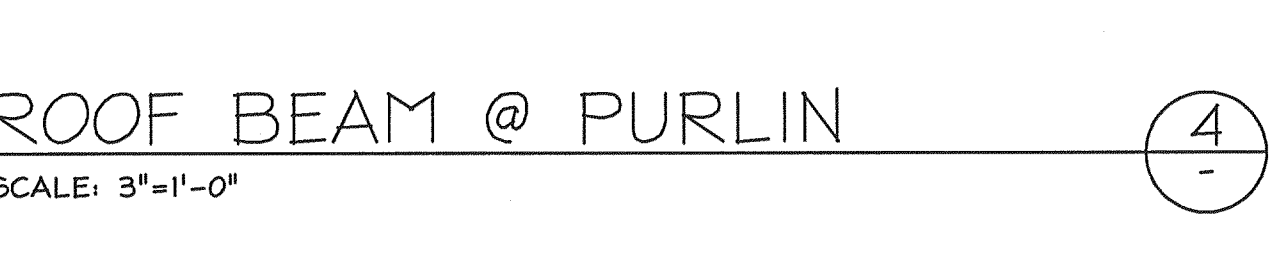
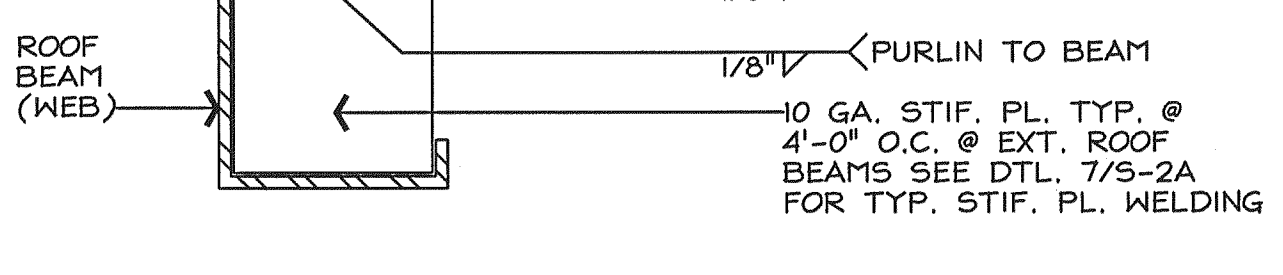
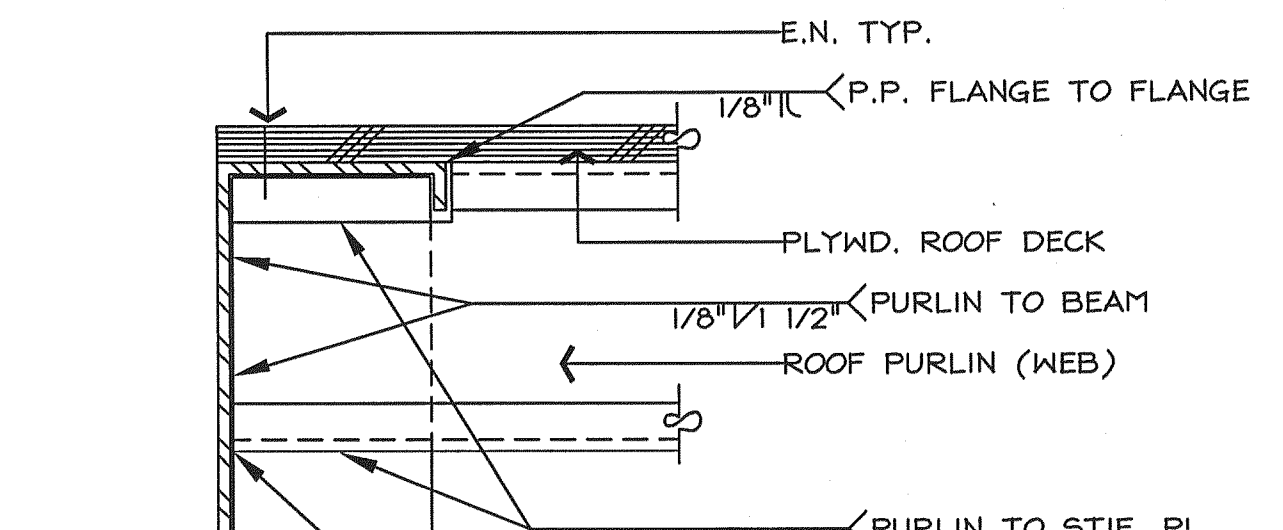
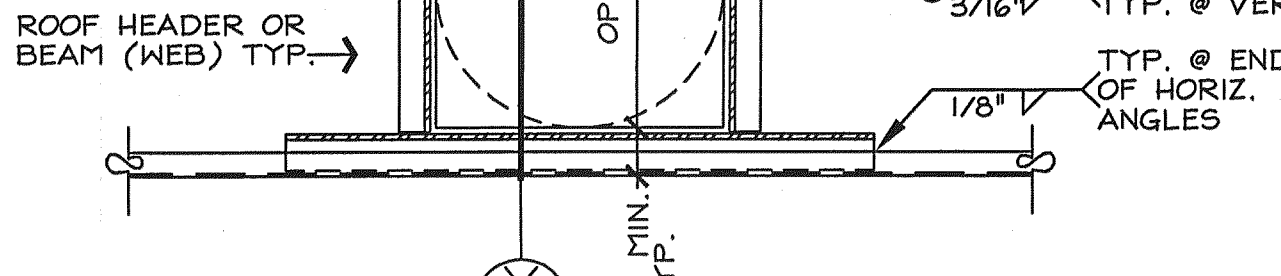
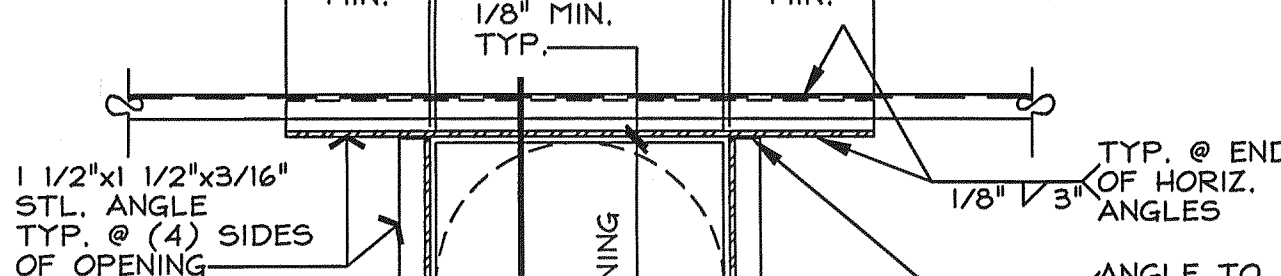
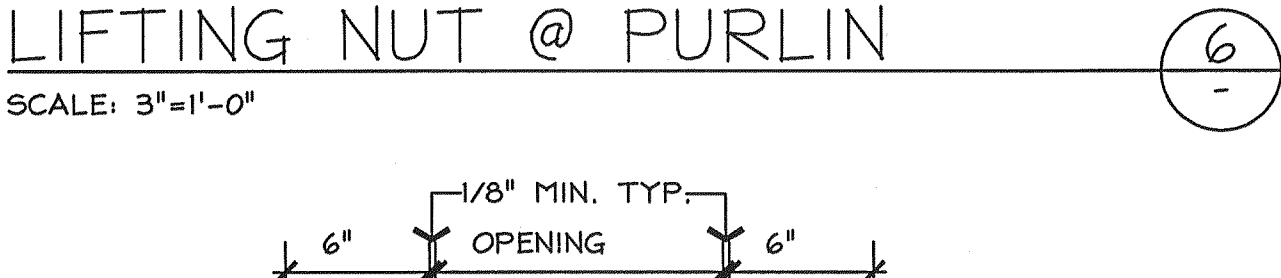
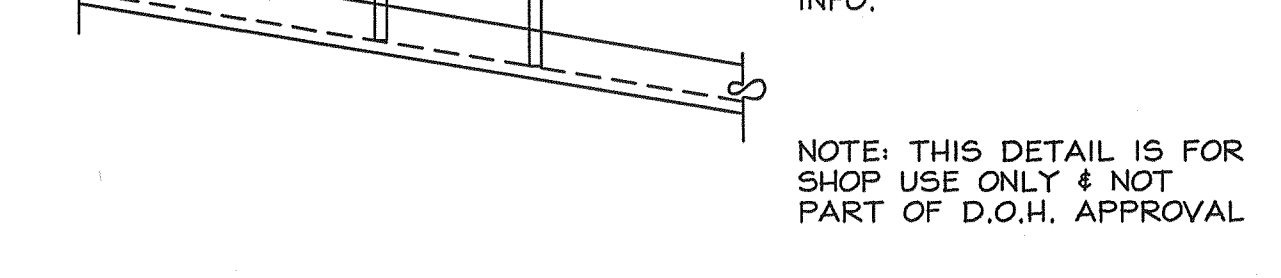
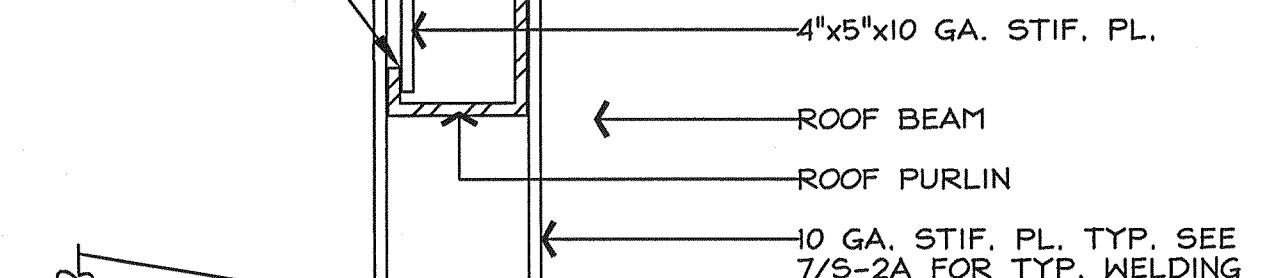
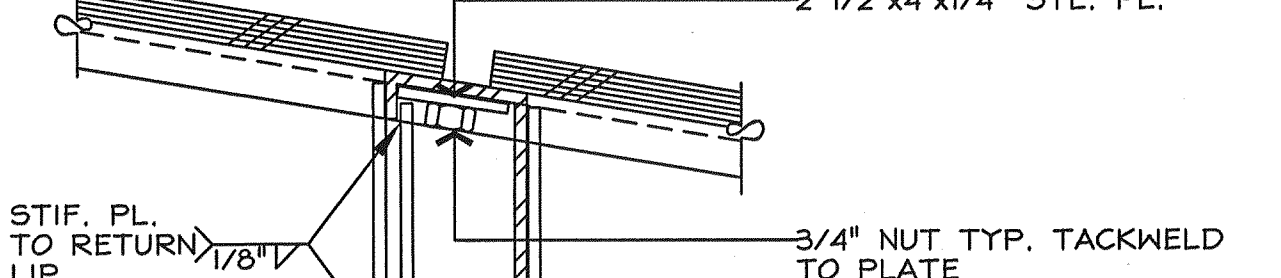
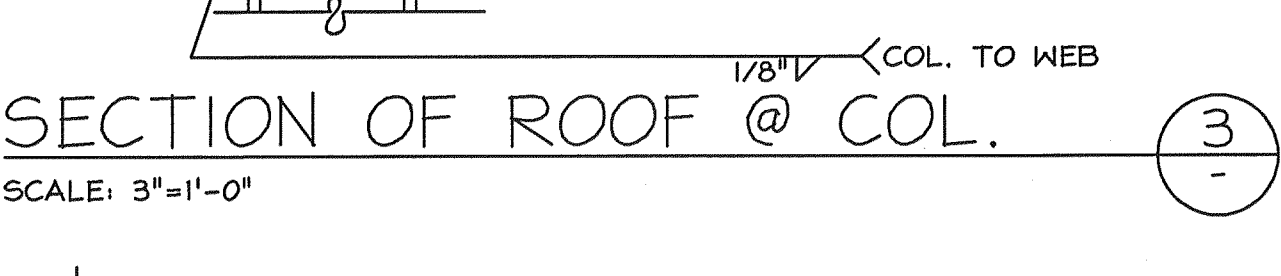
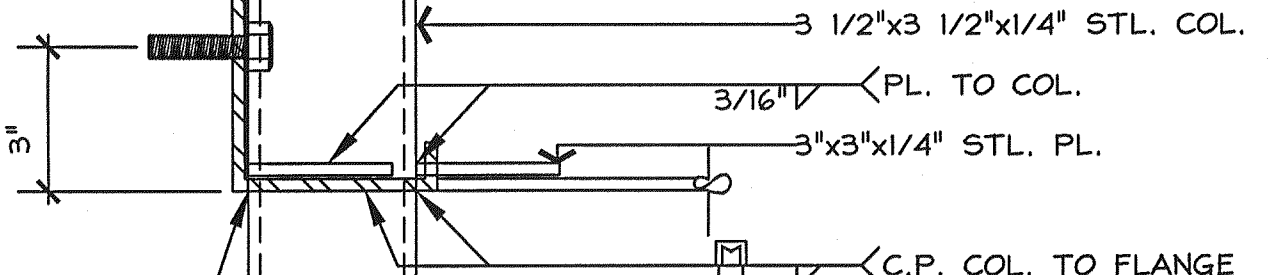
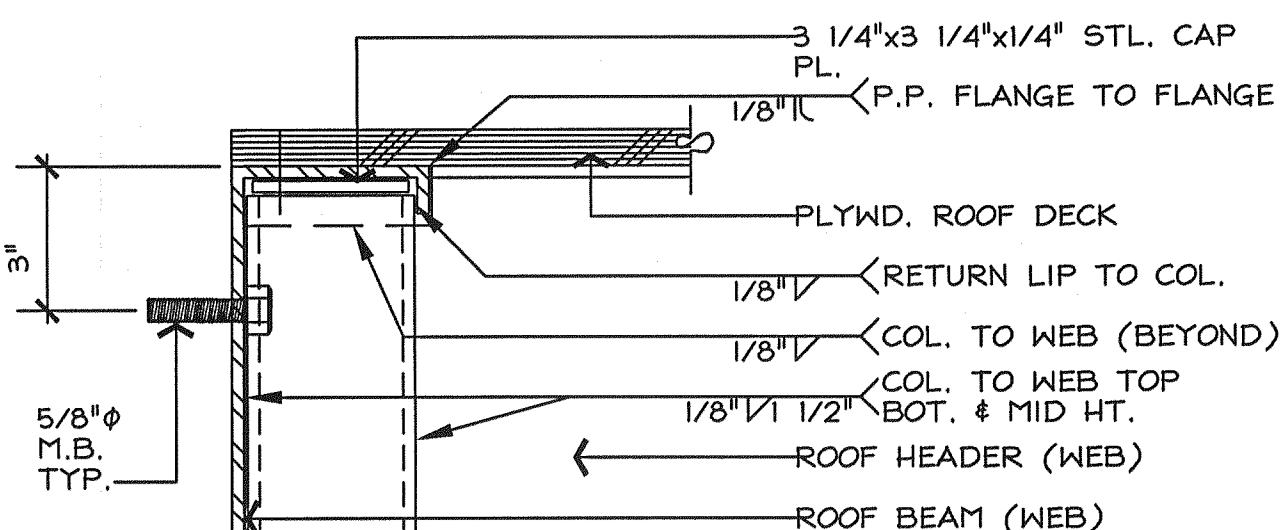
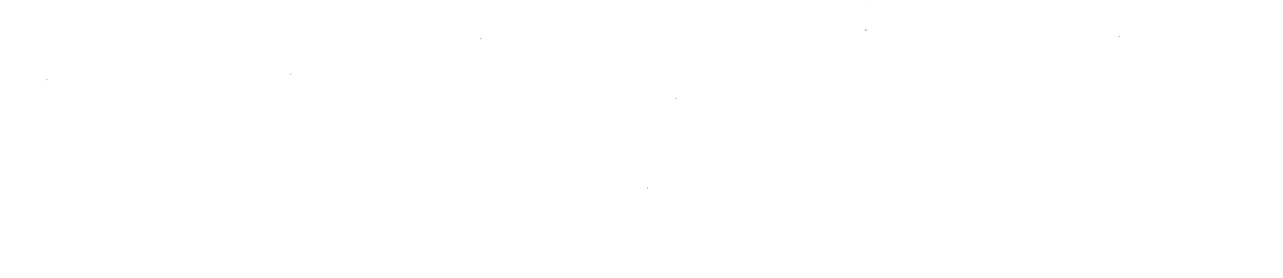
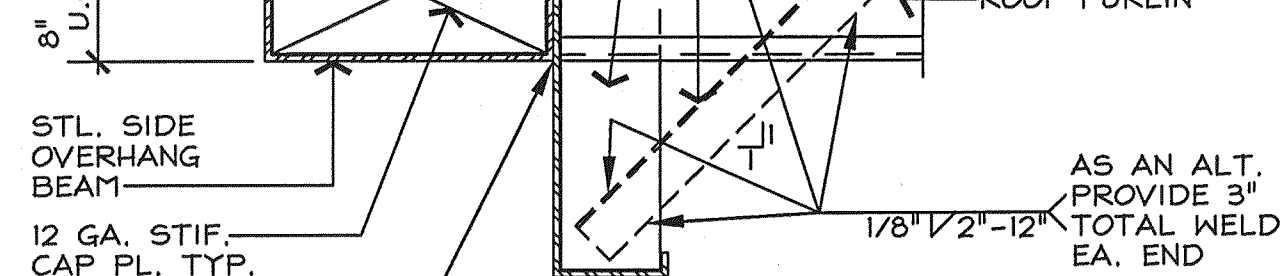
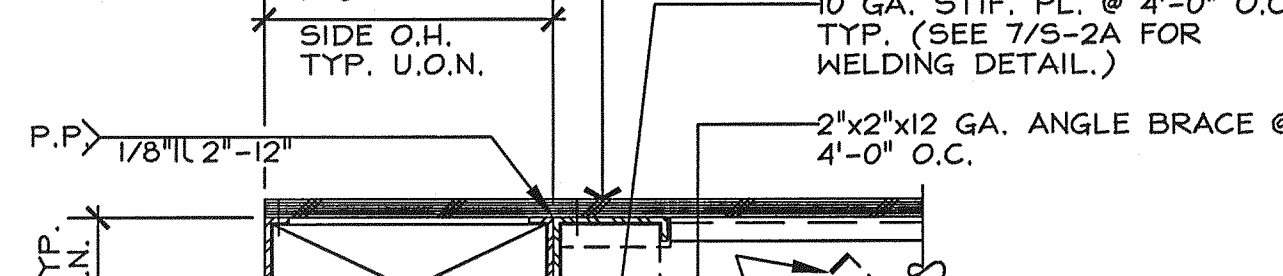
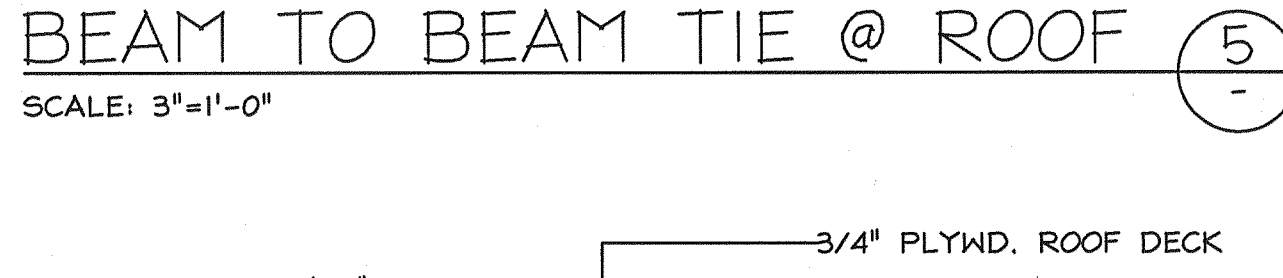
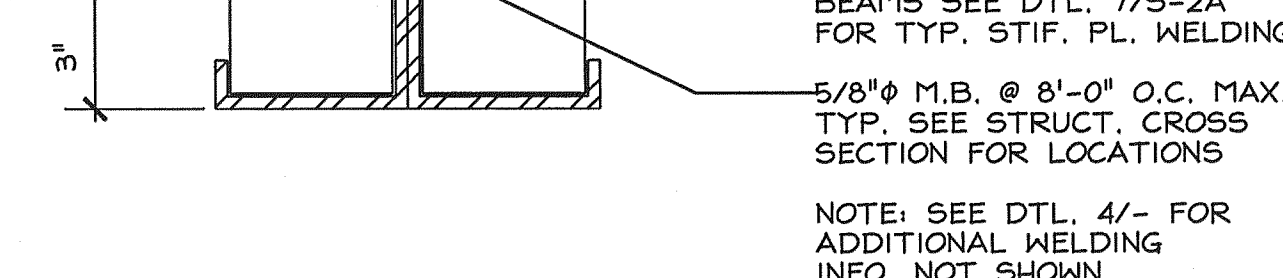
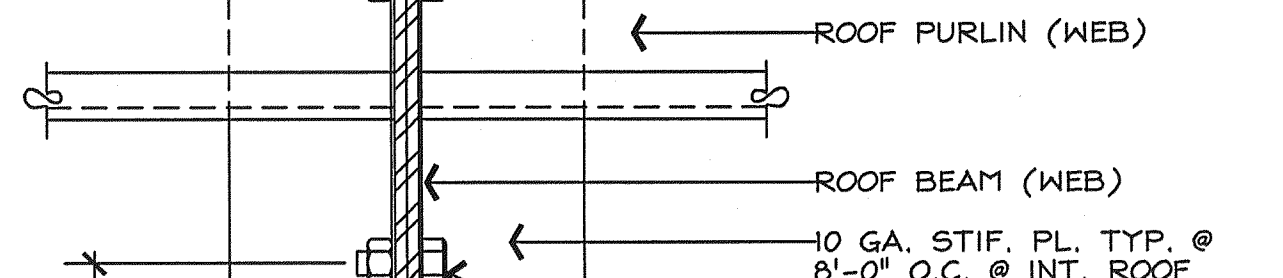
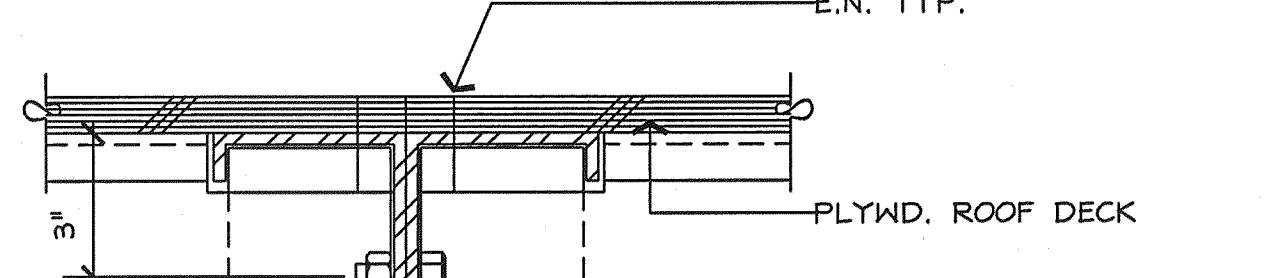
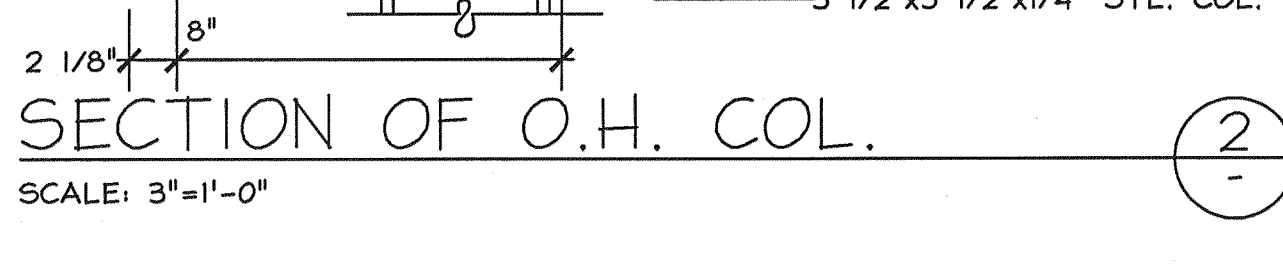
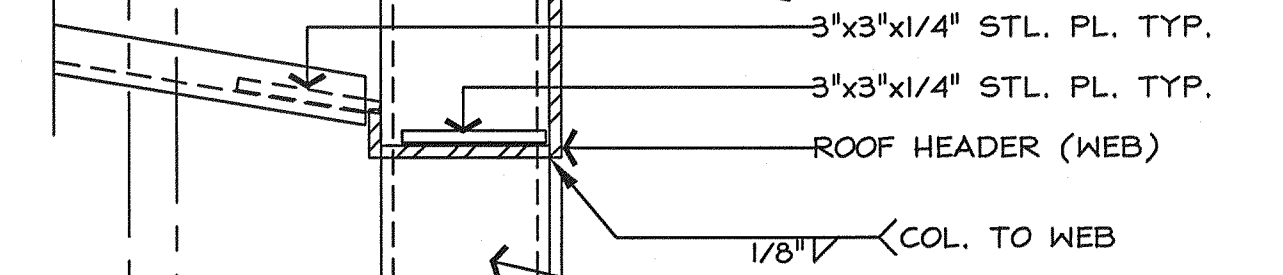
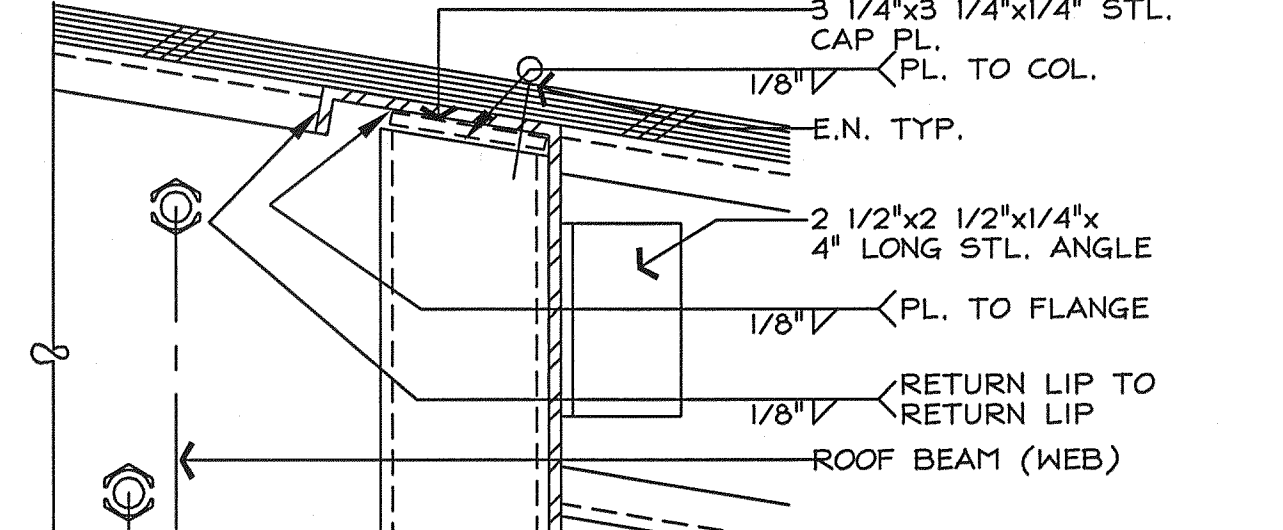
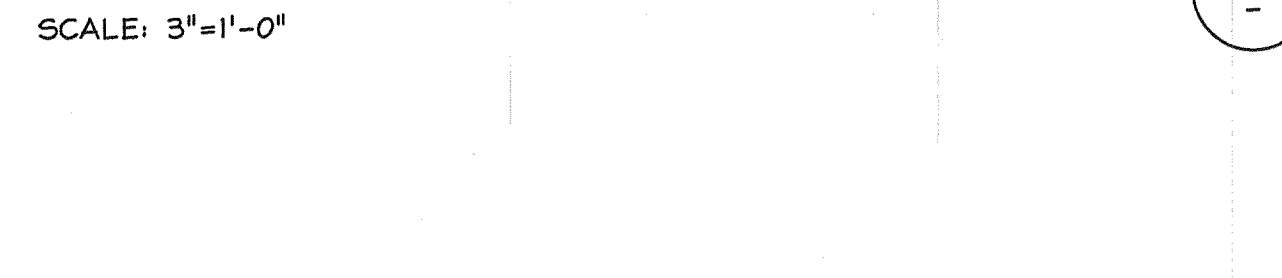
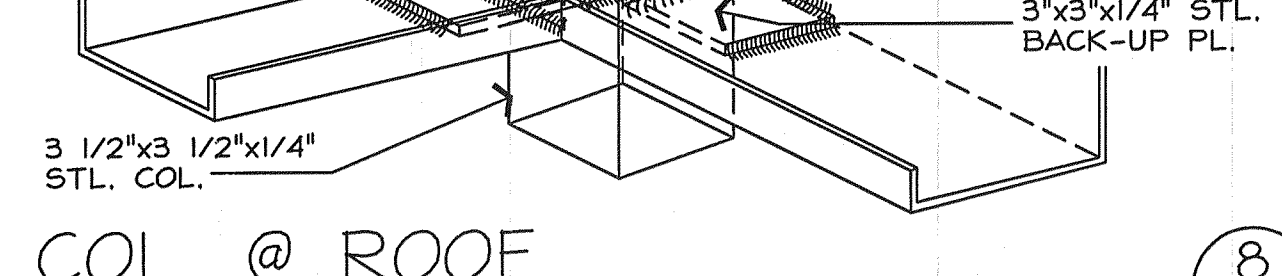
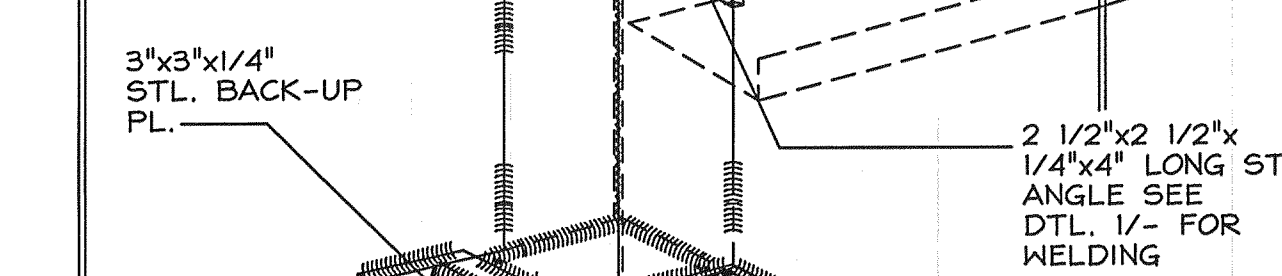
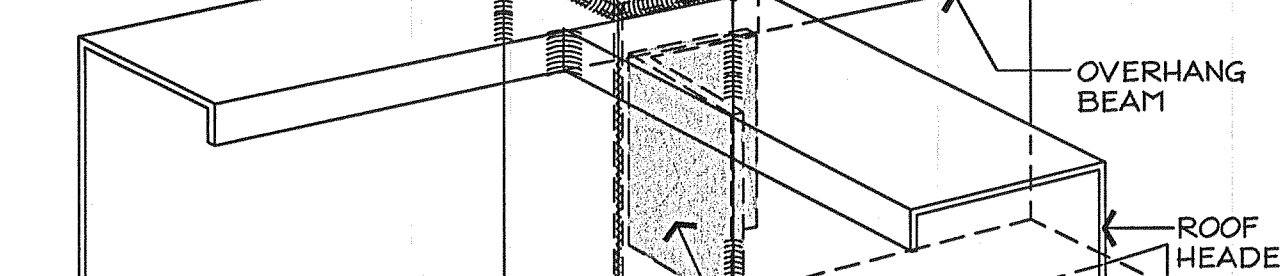
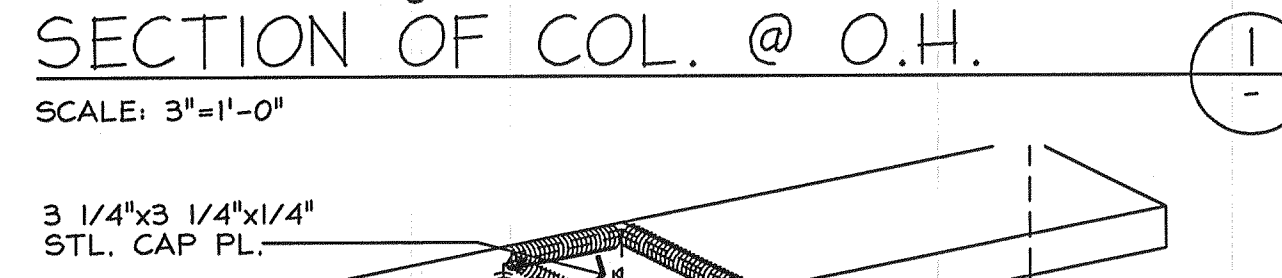
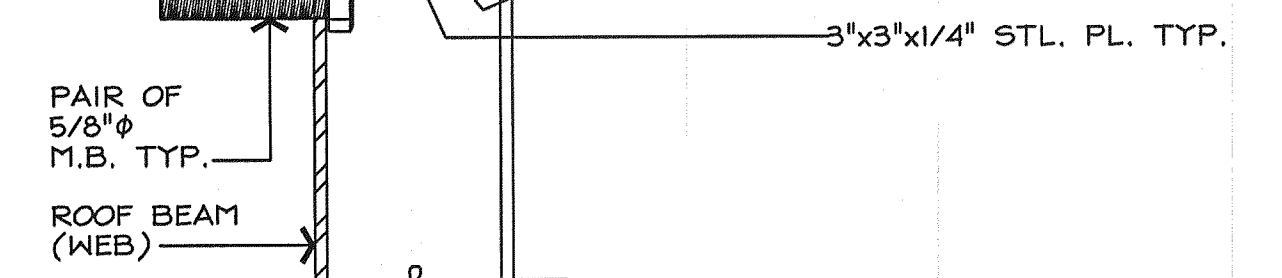
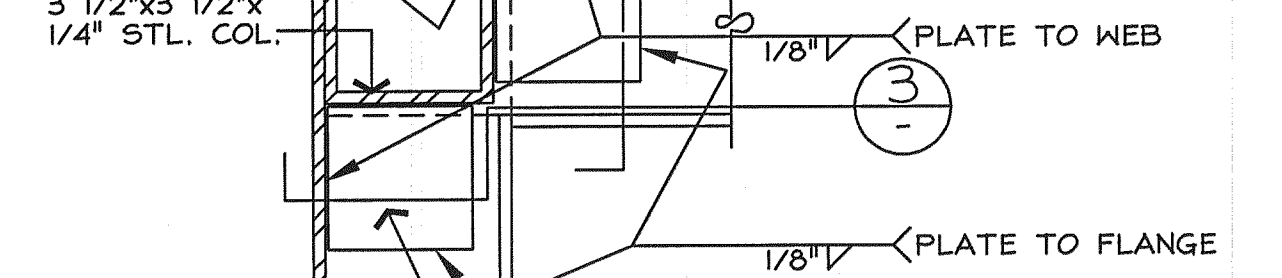
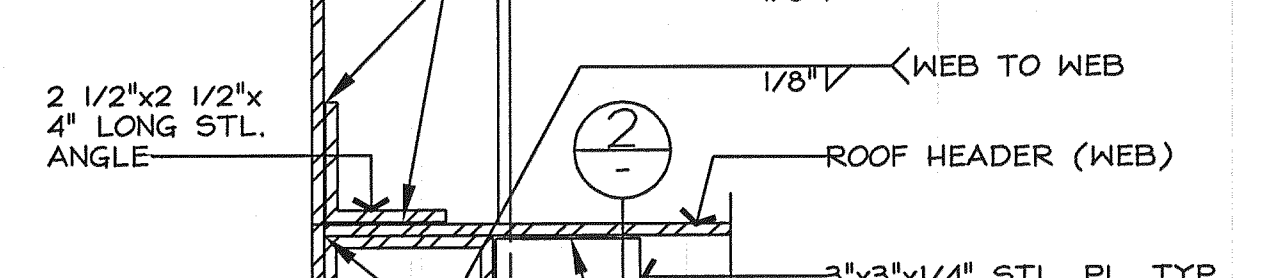
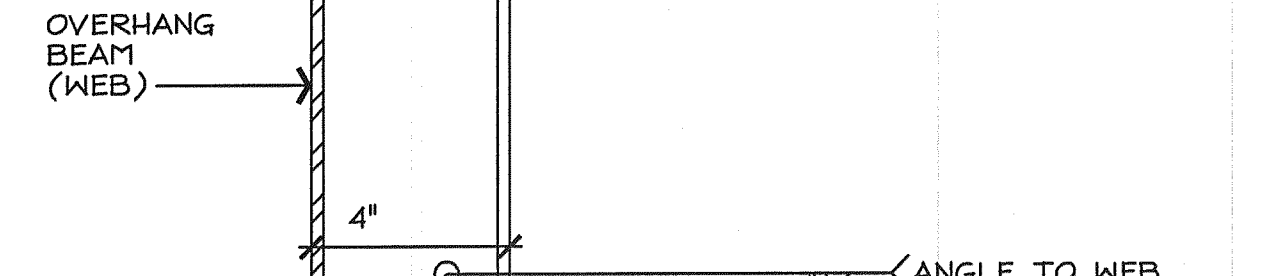
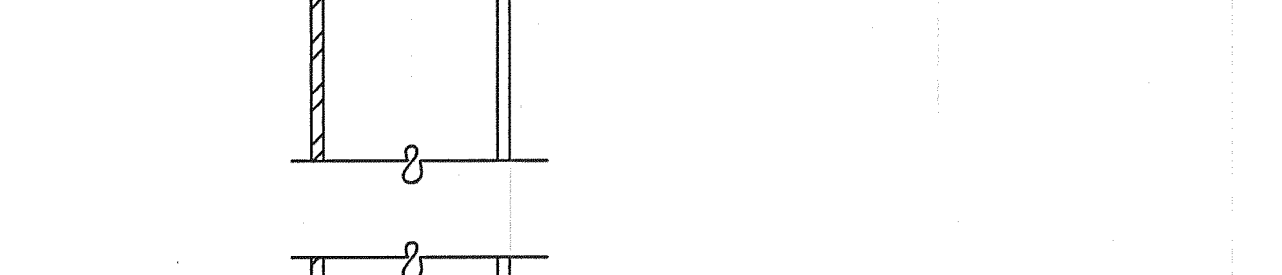
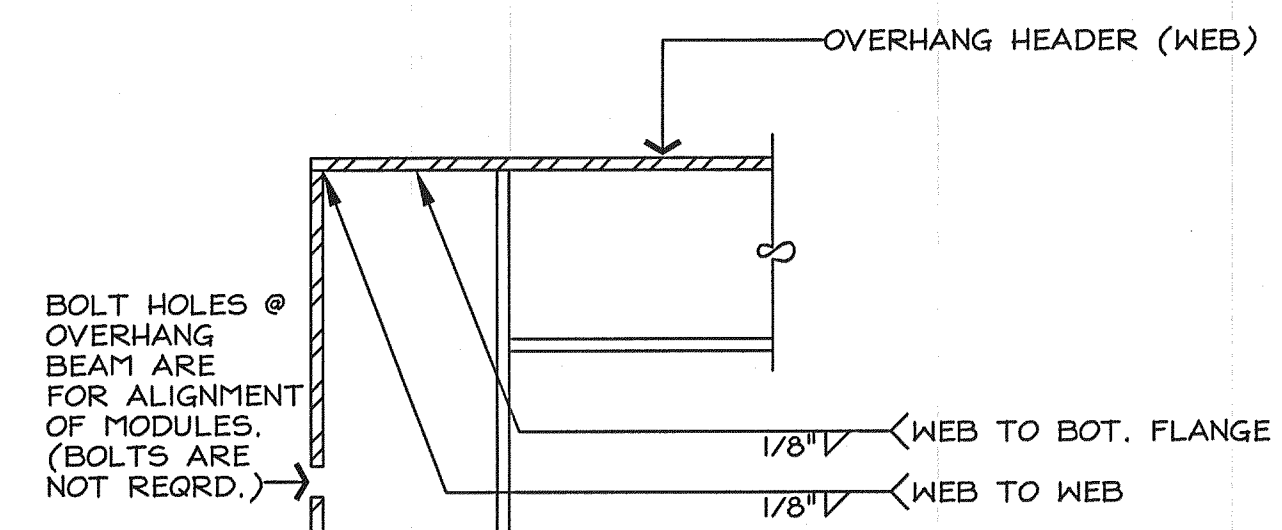




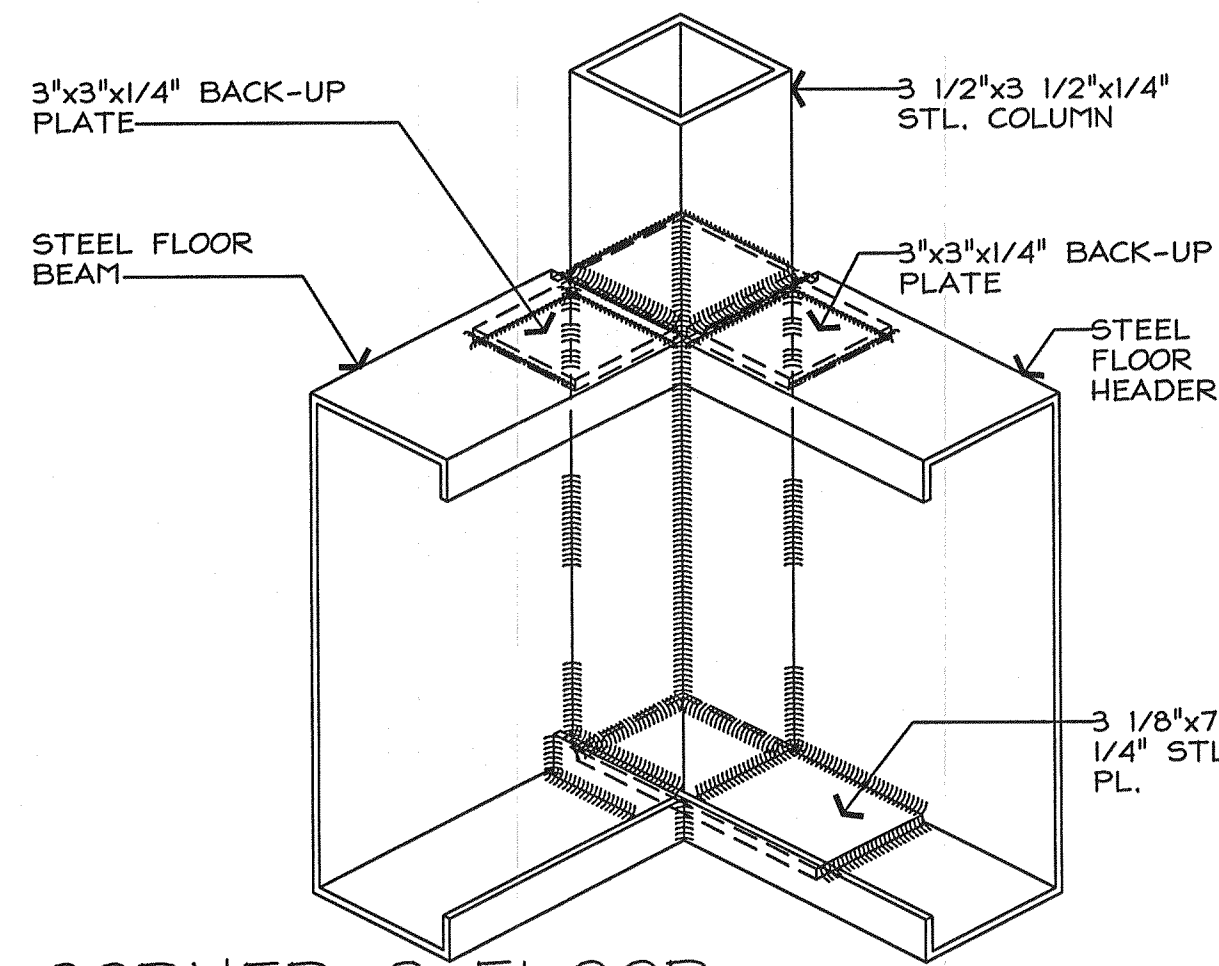


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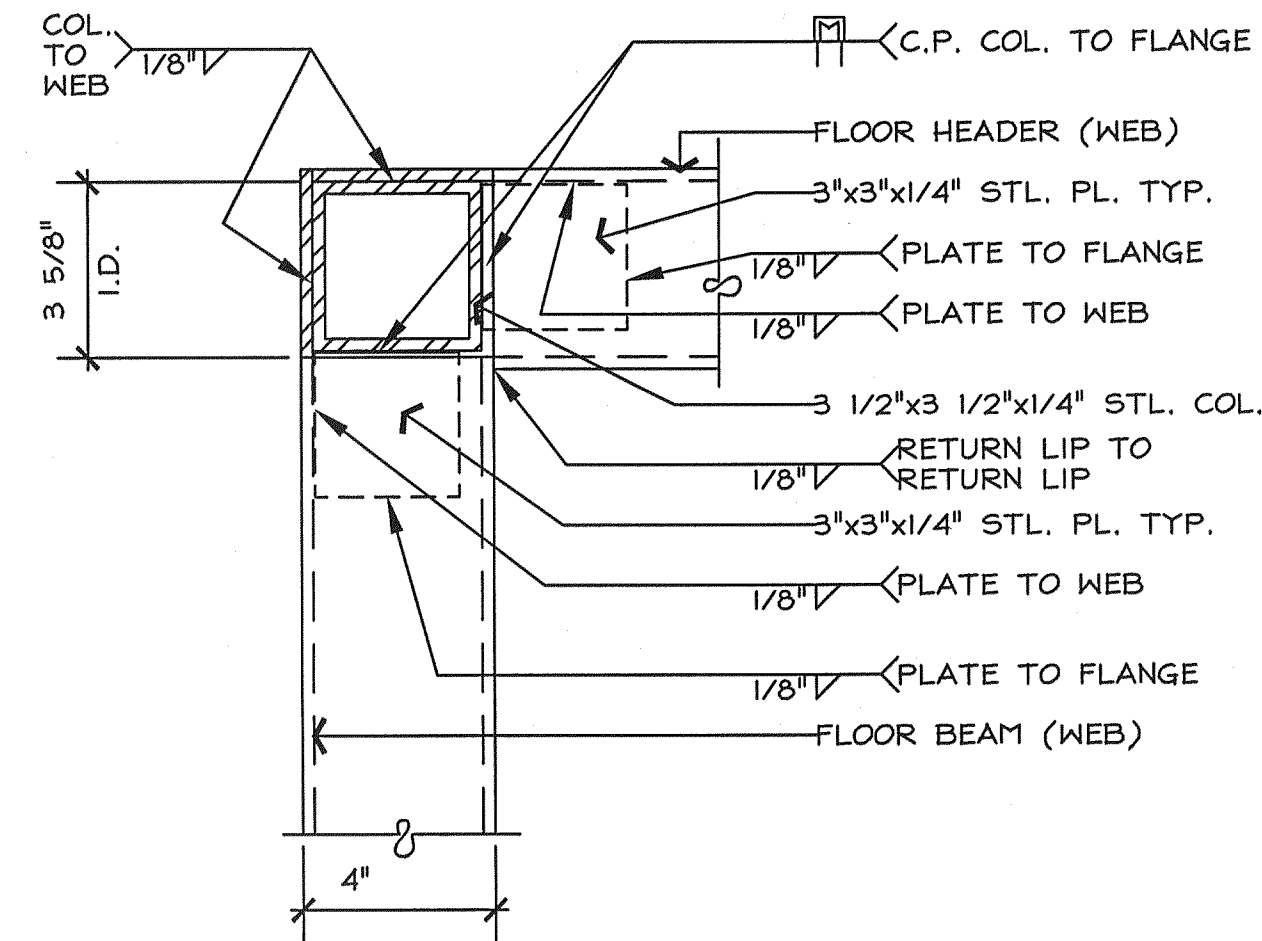






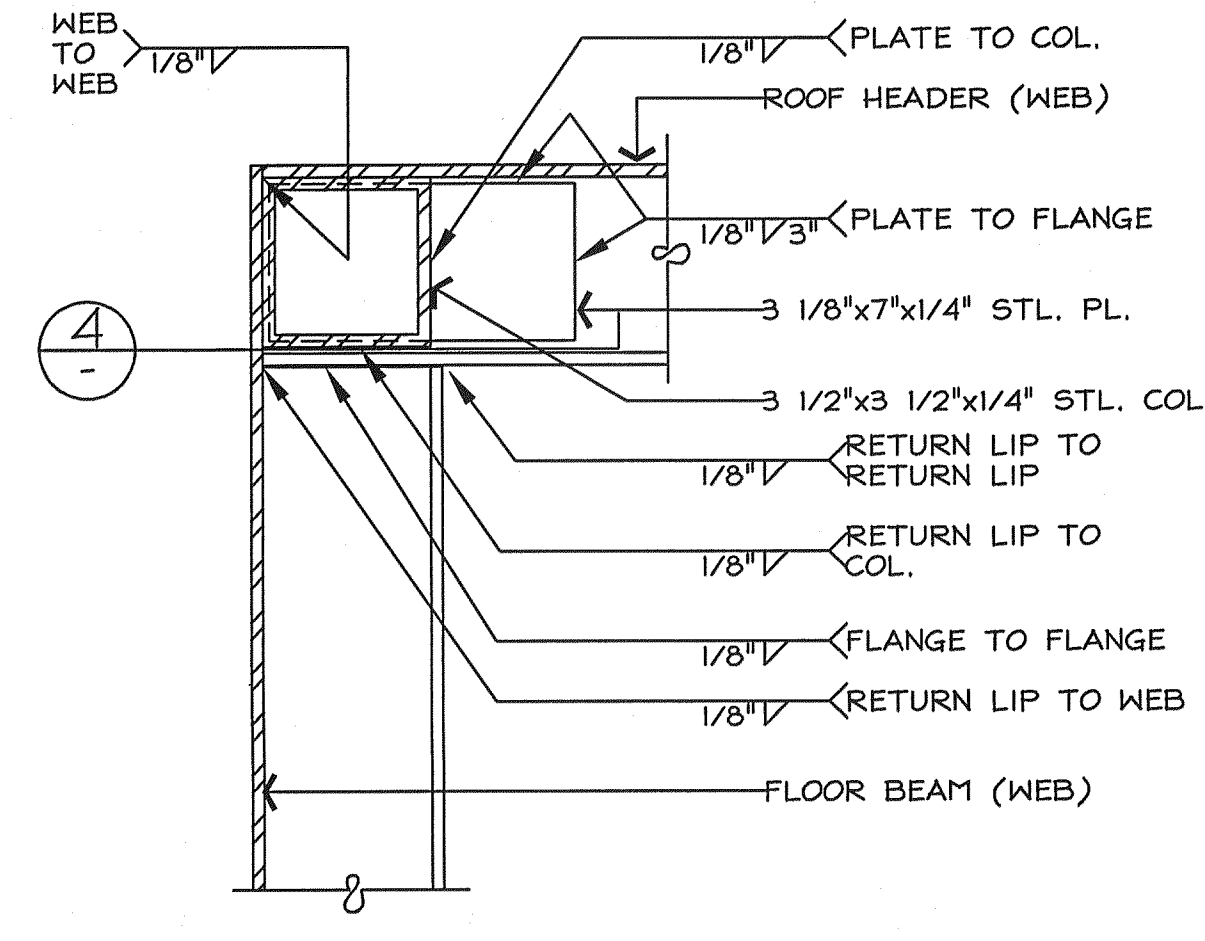
CORNER @ FLOOR

SCALE: 3/4"=1'-0"



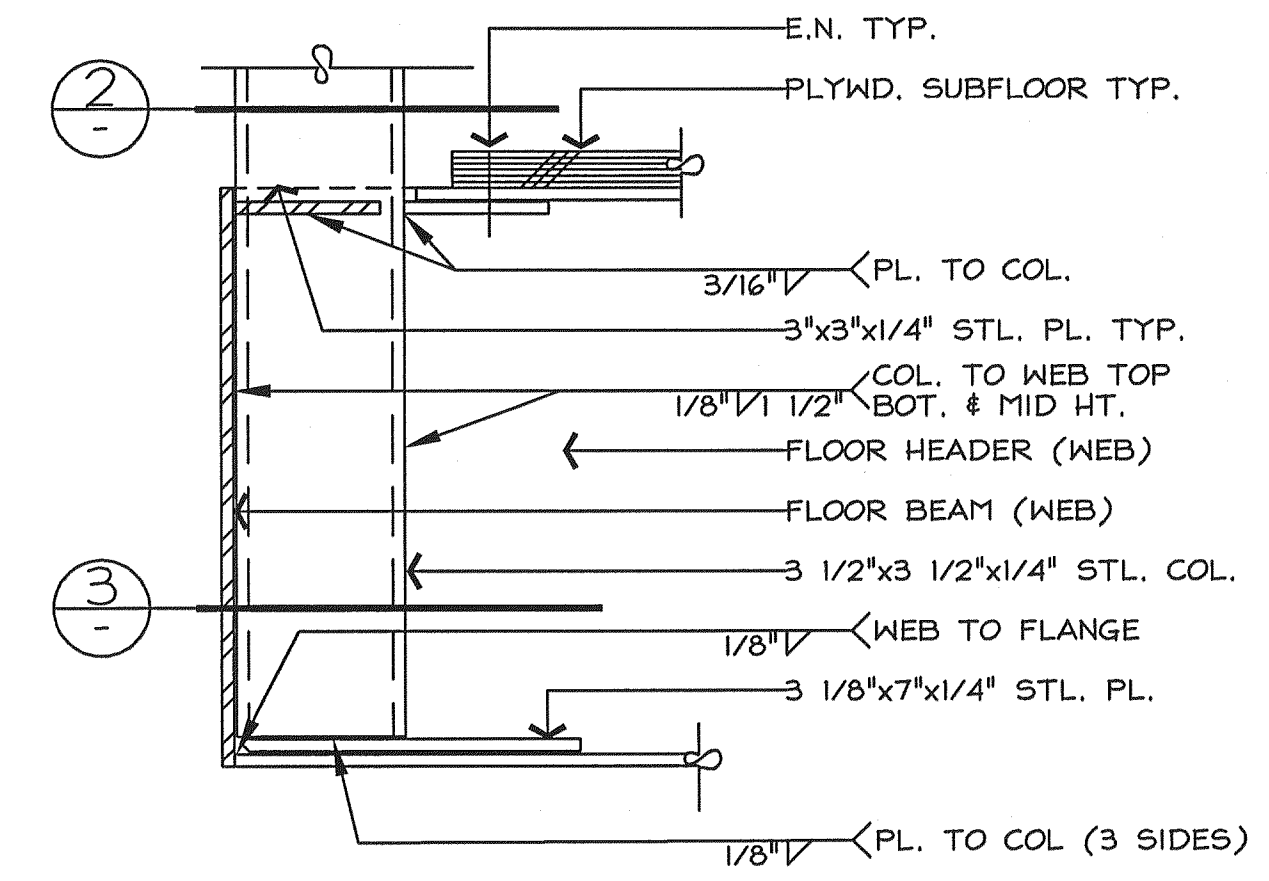
COLUMN @ FLOOR

SCALE: 3"=1'-0"



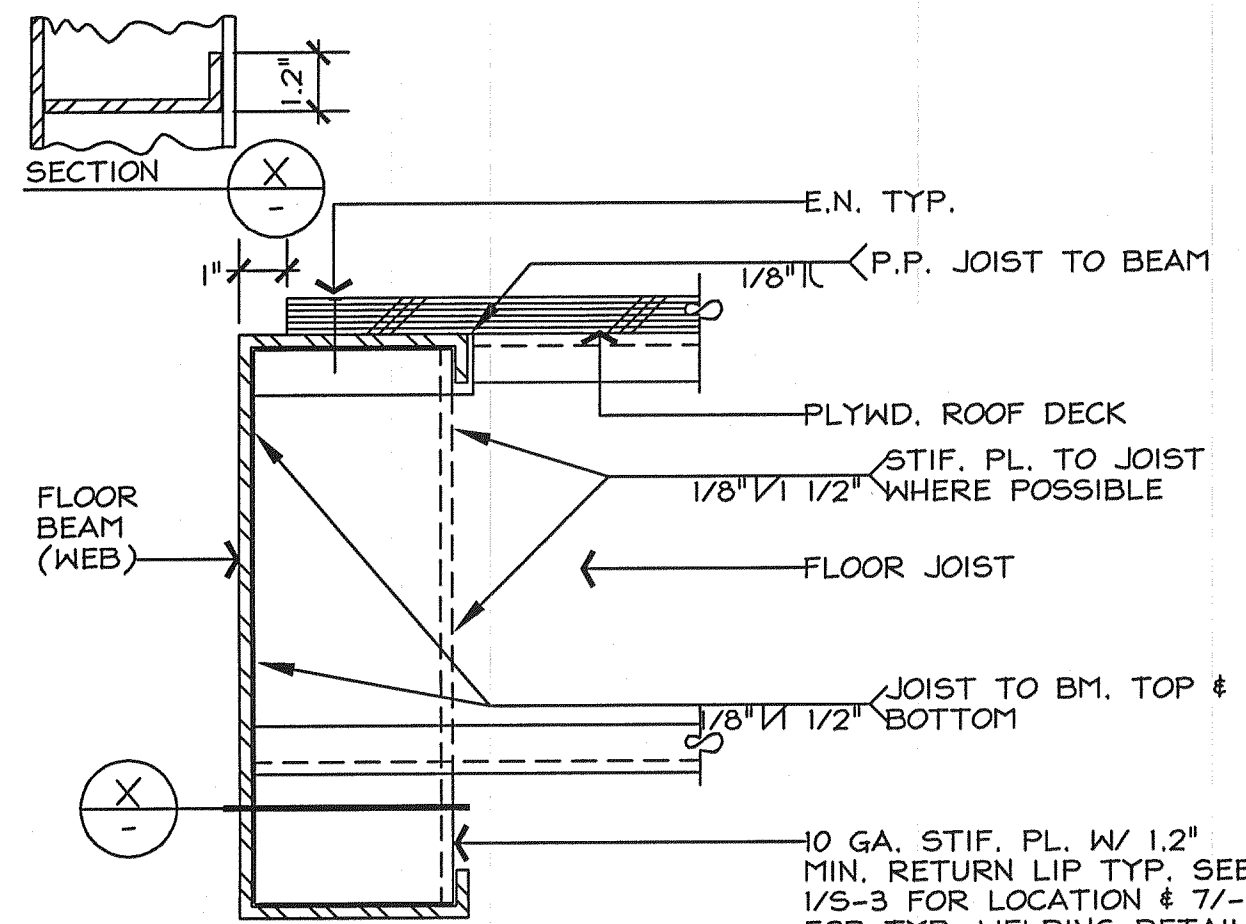
SECTION OF COLUMN @ FLOOR

SCALE: 3"=1'-0"



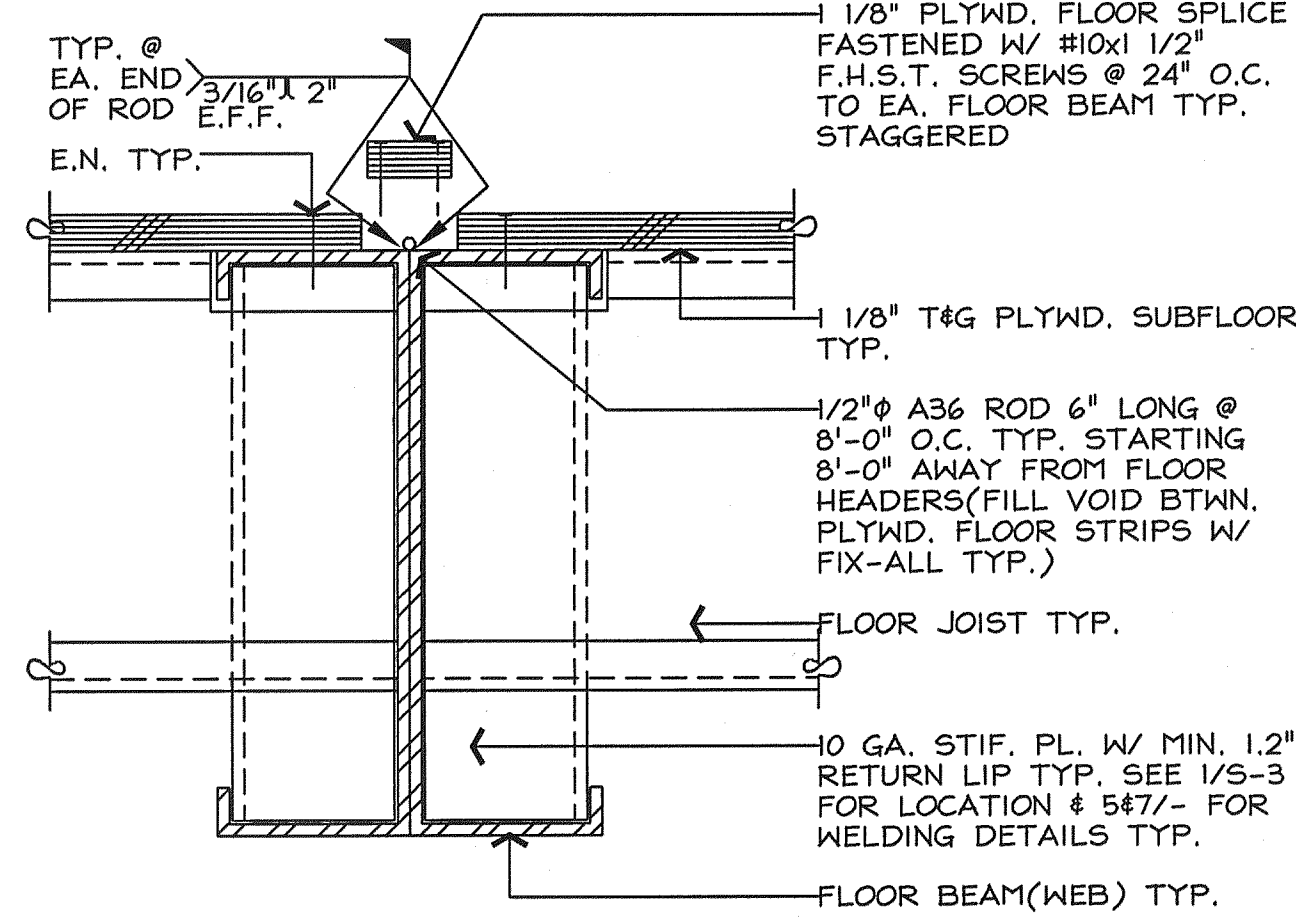
SECTION OF FLOOR @ COL.

SCALE: 3"=1'-0"



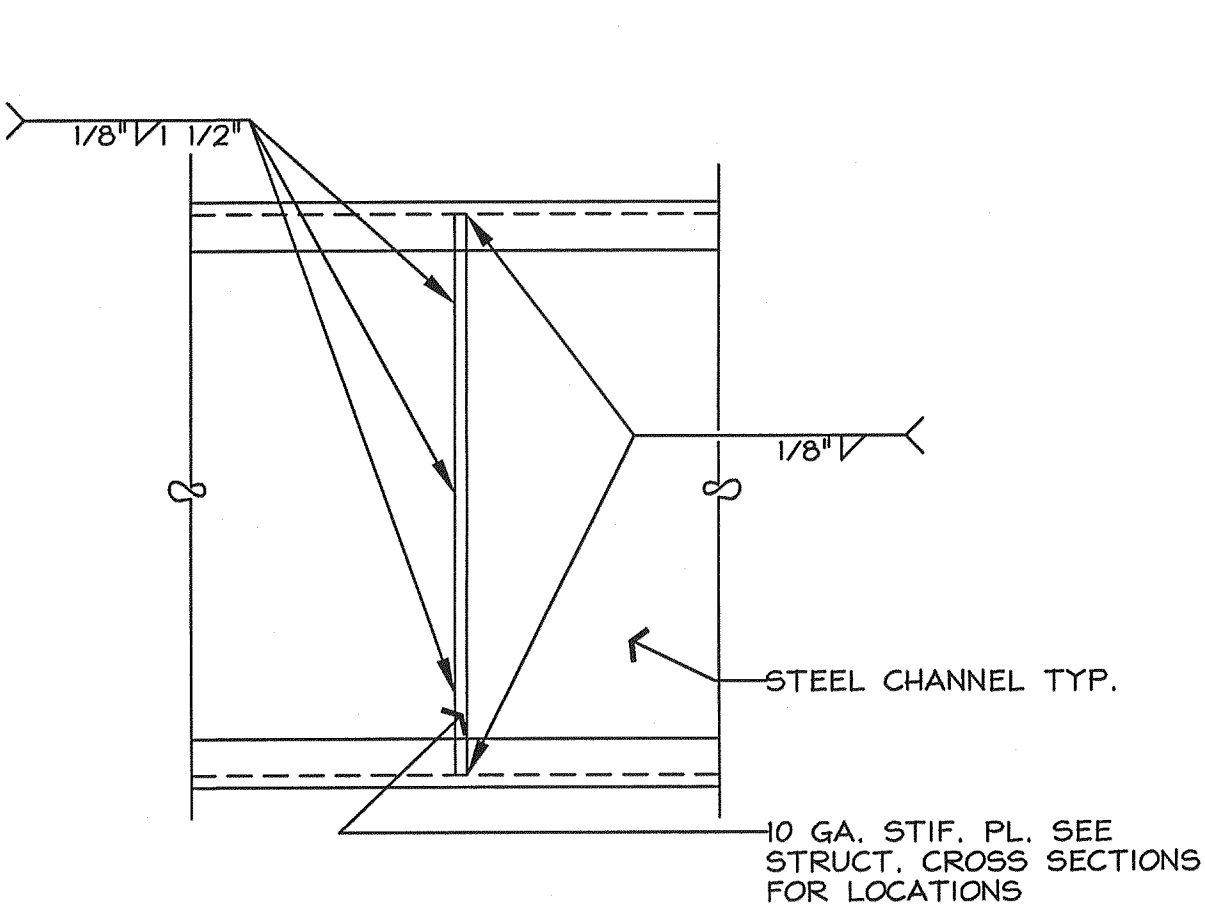
FLOOR BEAM @ JOIST

SCALE: 3"=1'-0"



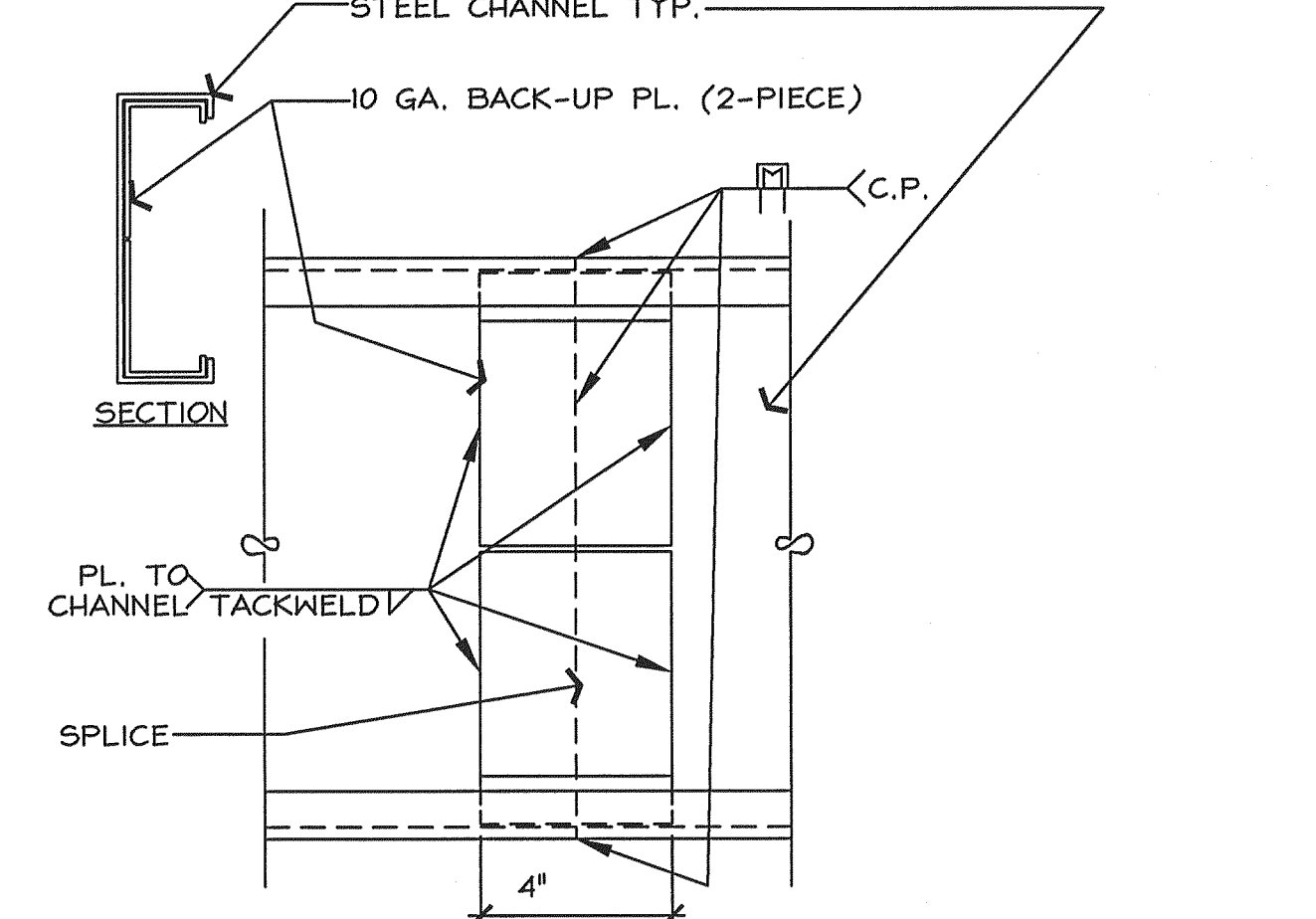
FIELD FLOOR SPLICE

SCALE: 3"=1'-0"



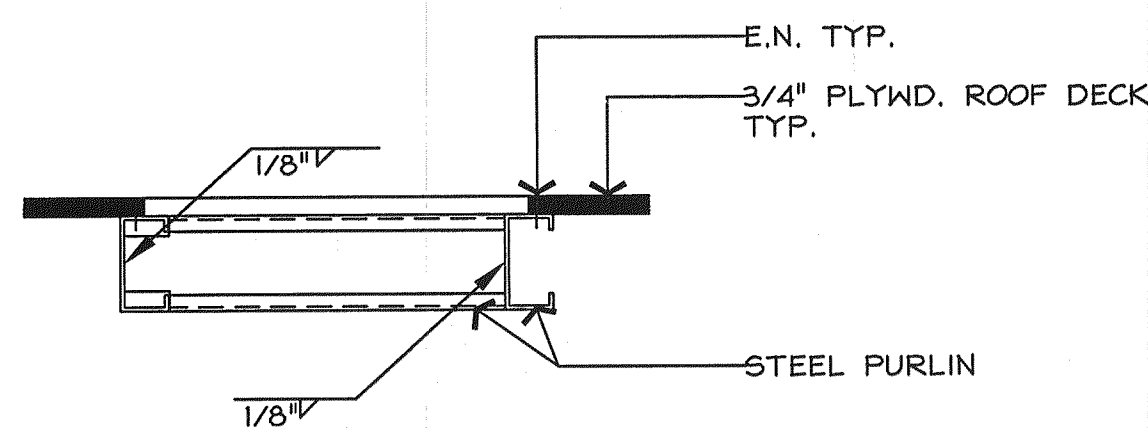
TYP. STIF. PL. WELDING

SCALE: 3"=1'-0"



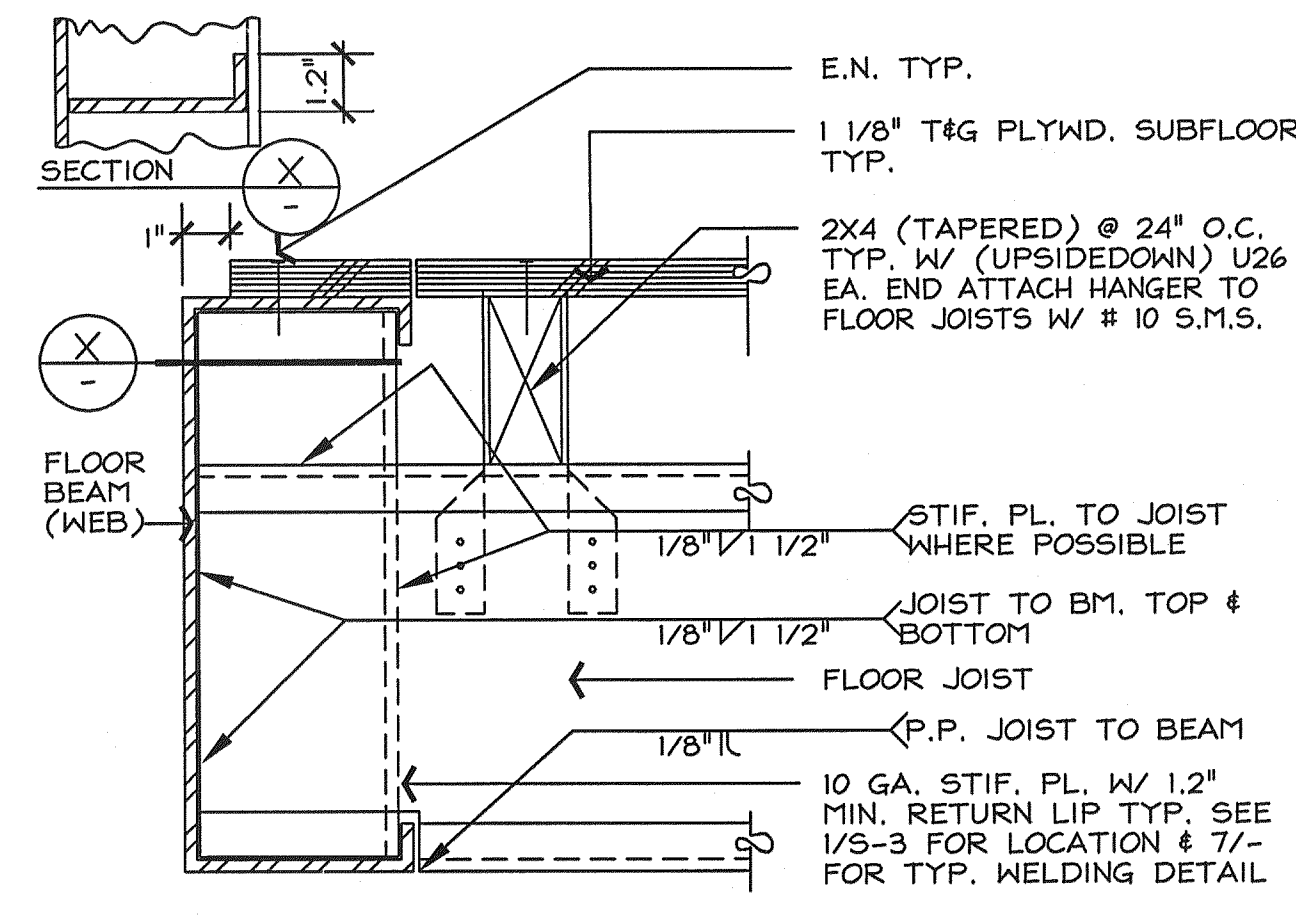
TYP. BEAM SPLICE DETAIL

SCALE: 3"=1'-0"



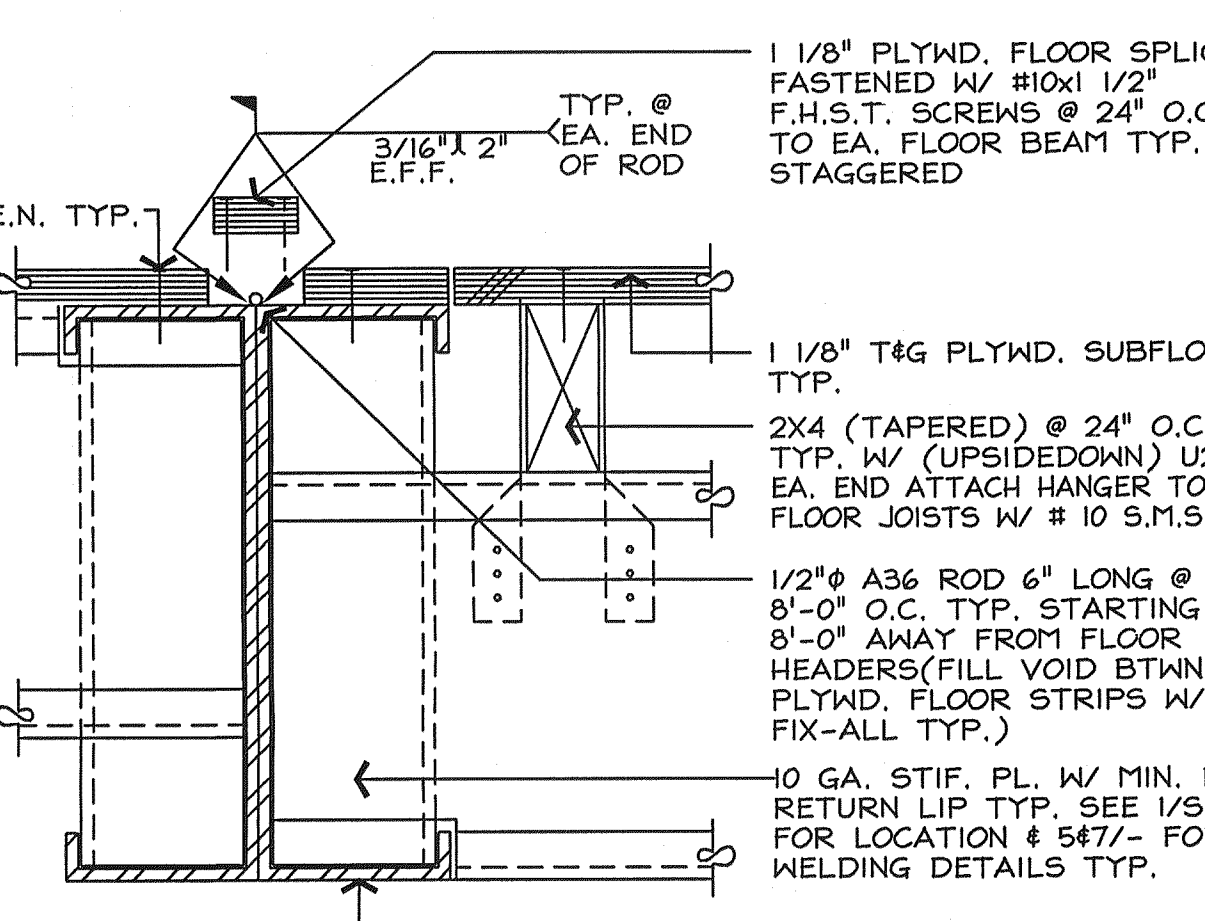
MISC. WELDING DETAIL

SCALE: 1"=1'-0"



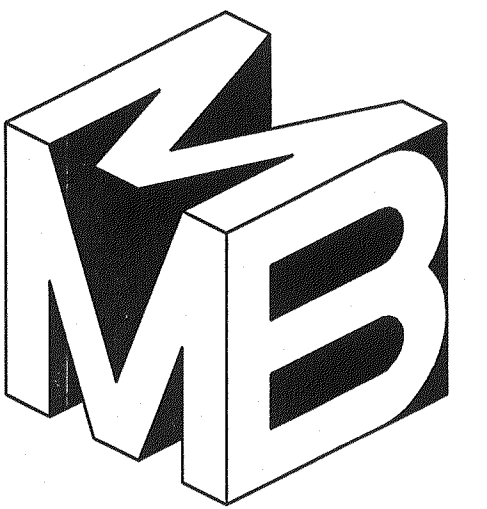
FLOOR BEAM @ JOIST

SCALE: 3"=1'-0"



FIELD FLOOR SPLICE

SCALE: 3"=1'-0"



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DATE: JUNE 12, 2000  
DRAWN: BLB  
CHECKED:  
REVISIONS:

STRUCTURAL STEEL DETAILS  
AT FLOOR

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

STRUCTURAL ENGINEER

SHEET NO.

S-2A

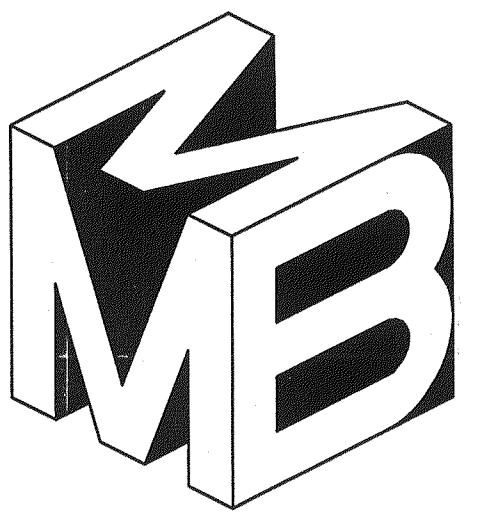
OF SHEETS

00415

JOB NO.

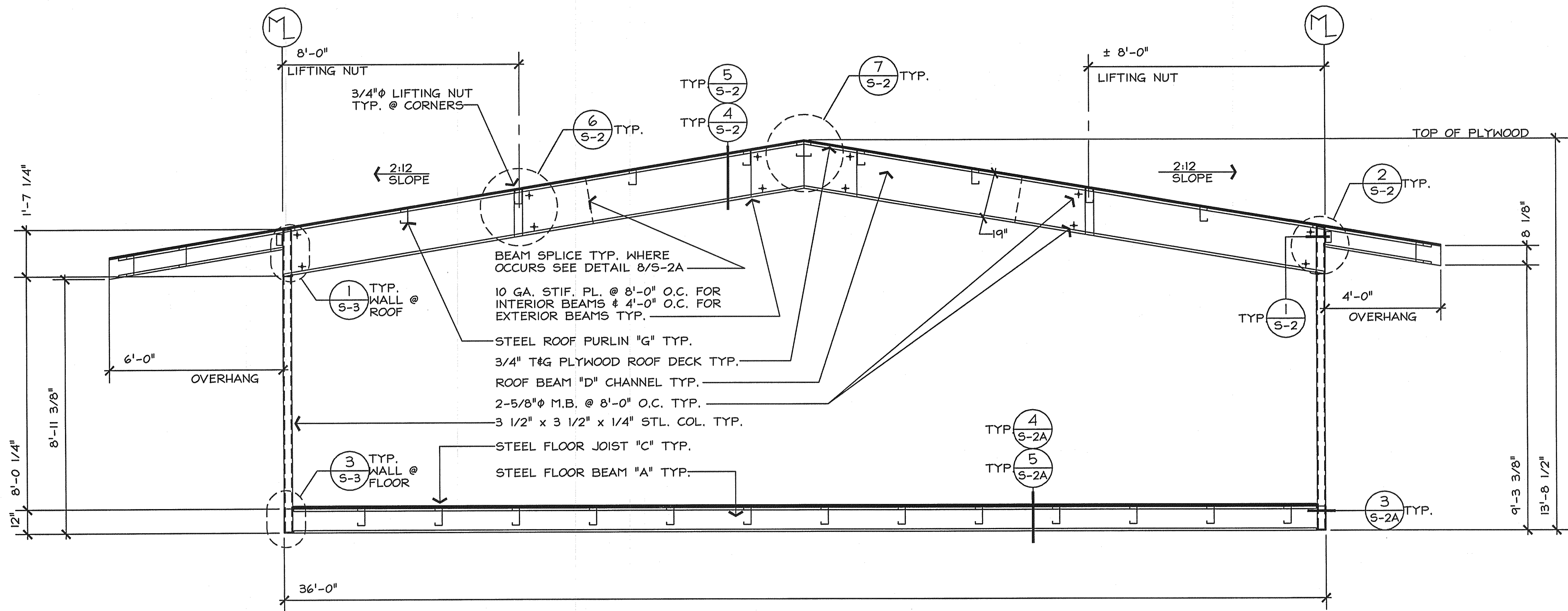
Page 24 of 29





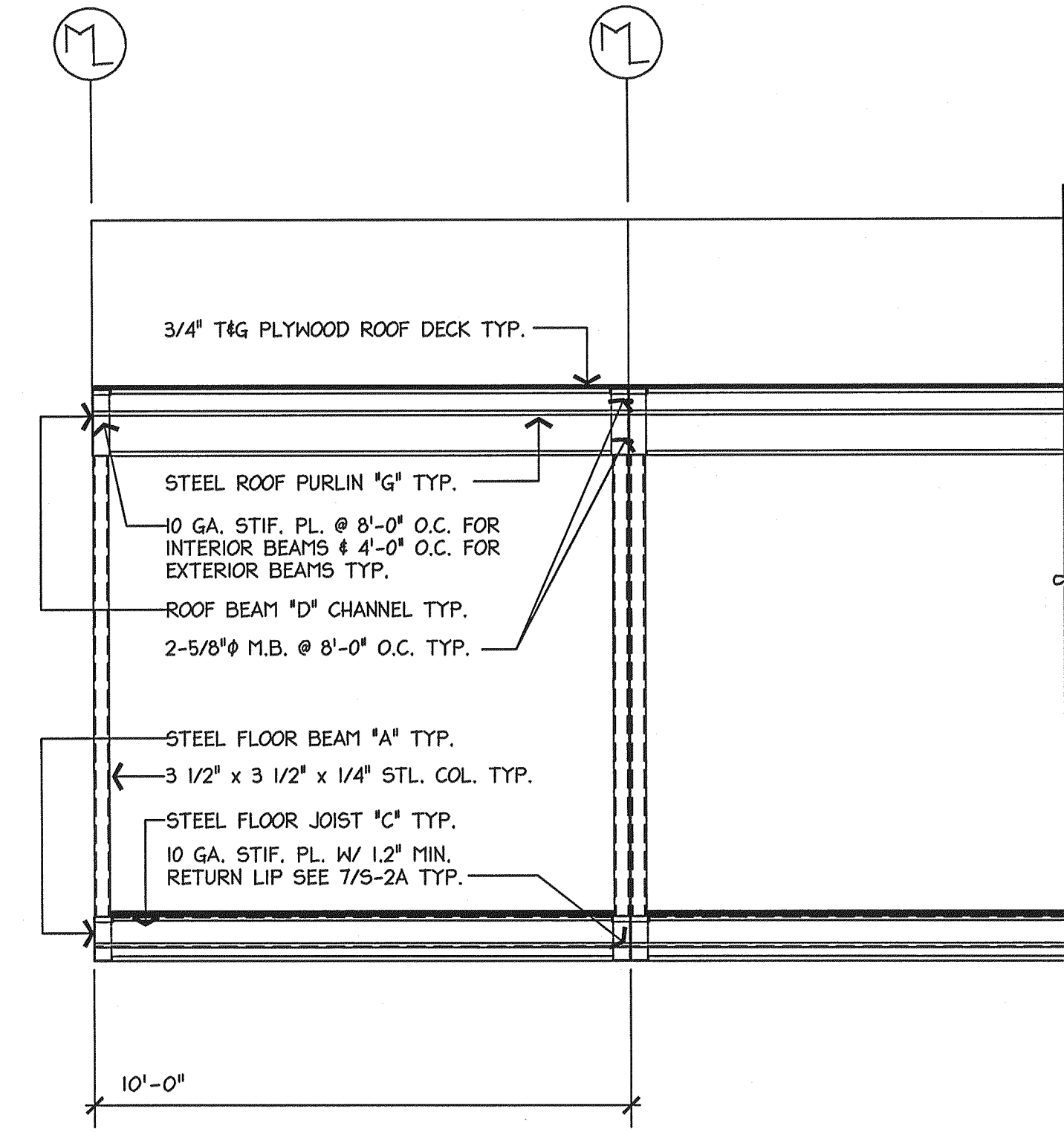
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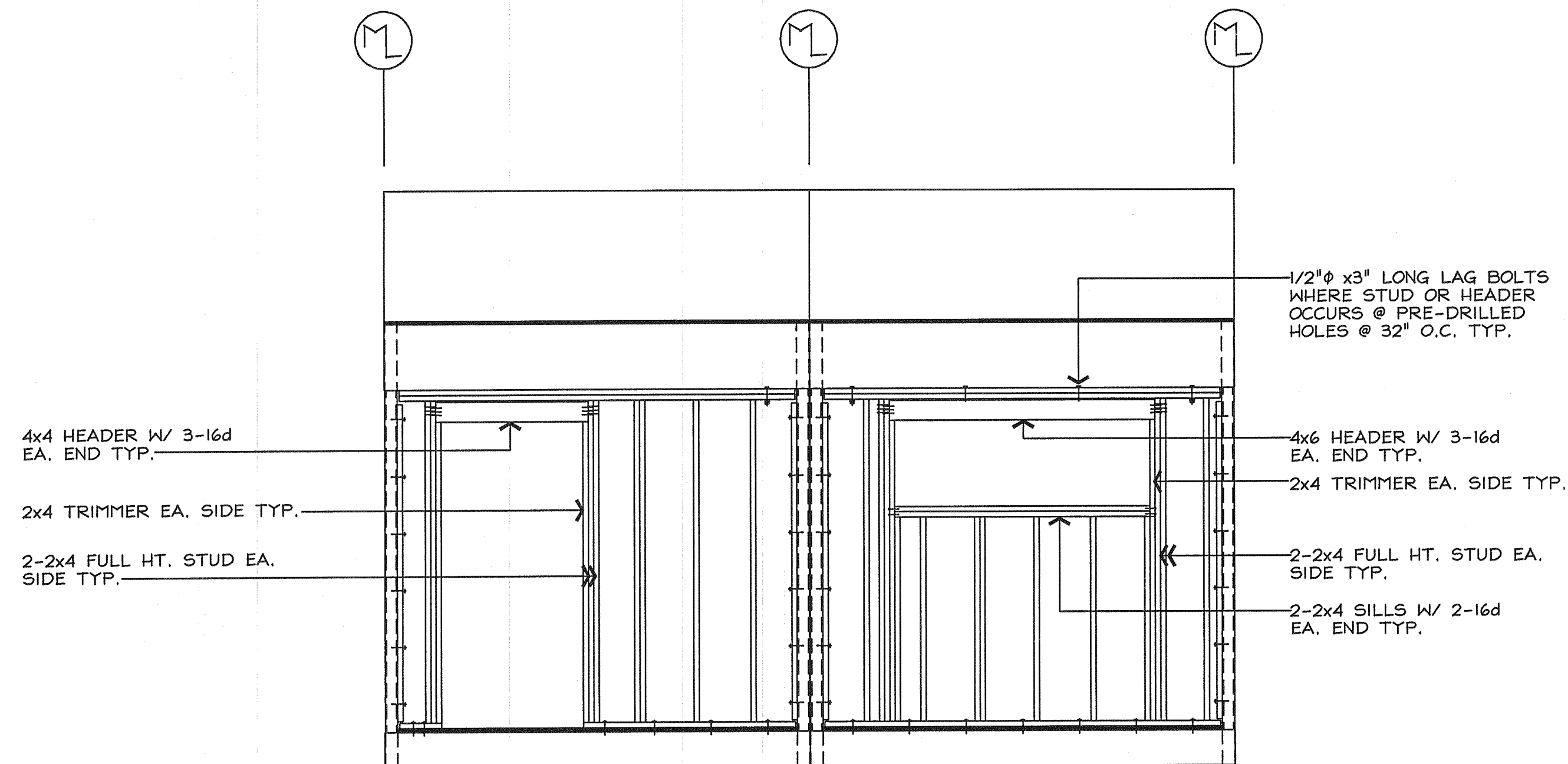
STRUCTURAL CROSS SECTION

SCALE 3/8"=1'-0"



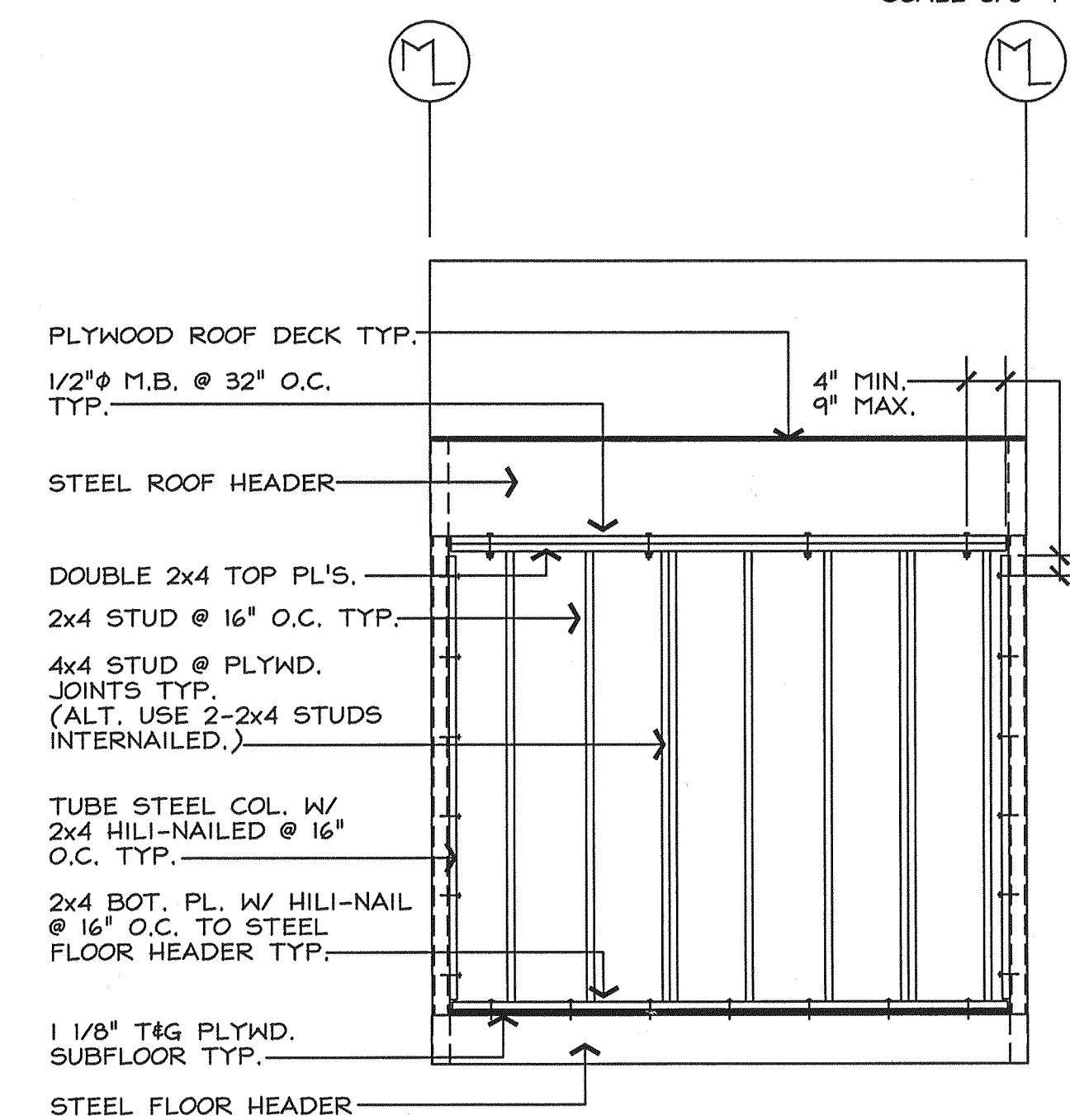
STRUCTURAL CROSS SECTION

SCALE 3/8"=1'-0"



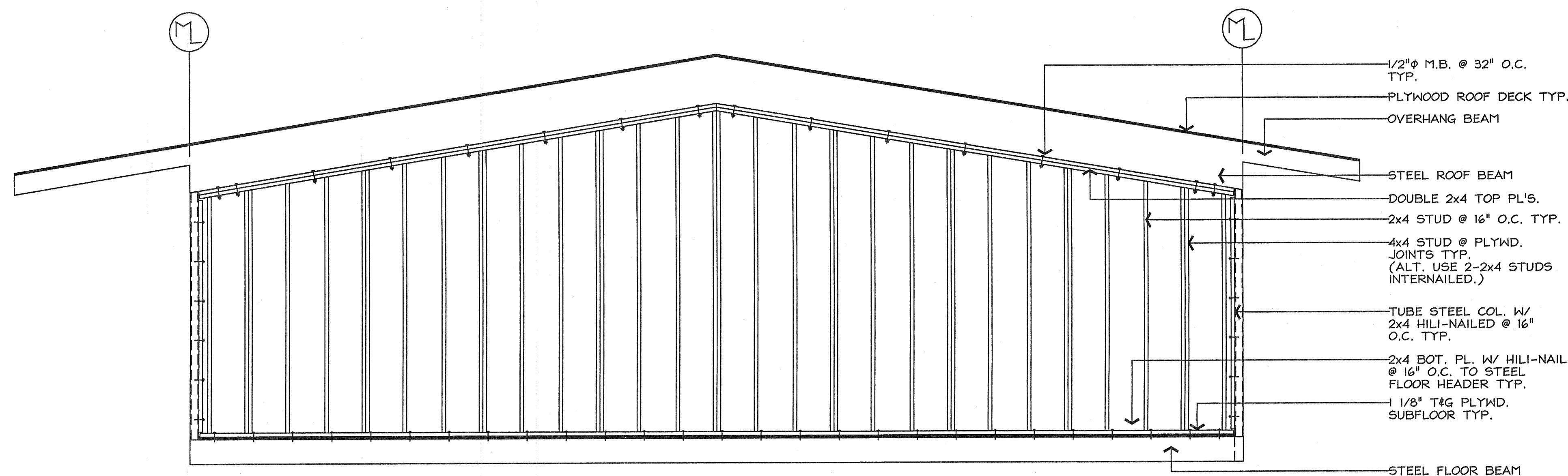
WALL FRAMNG @ OPENINGS

SCALE 3/8"=1'-0"



TYP. WALL FRAMING ELEV. @ END WALL

SCALE 3/8"=1'-0"



TYP. WALL FRAMING @ SIDE WALL

SCALE 3/8"=1'-0"

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

STRUCTURAL CROSS-SECTIONS WITH  
TYP. WALL FRAMING ELEVATION

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

**PRELIMINARY**  
NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

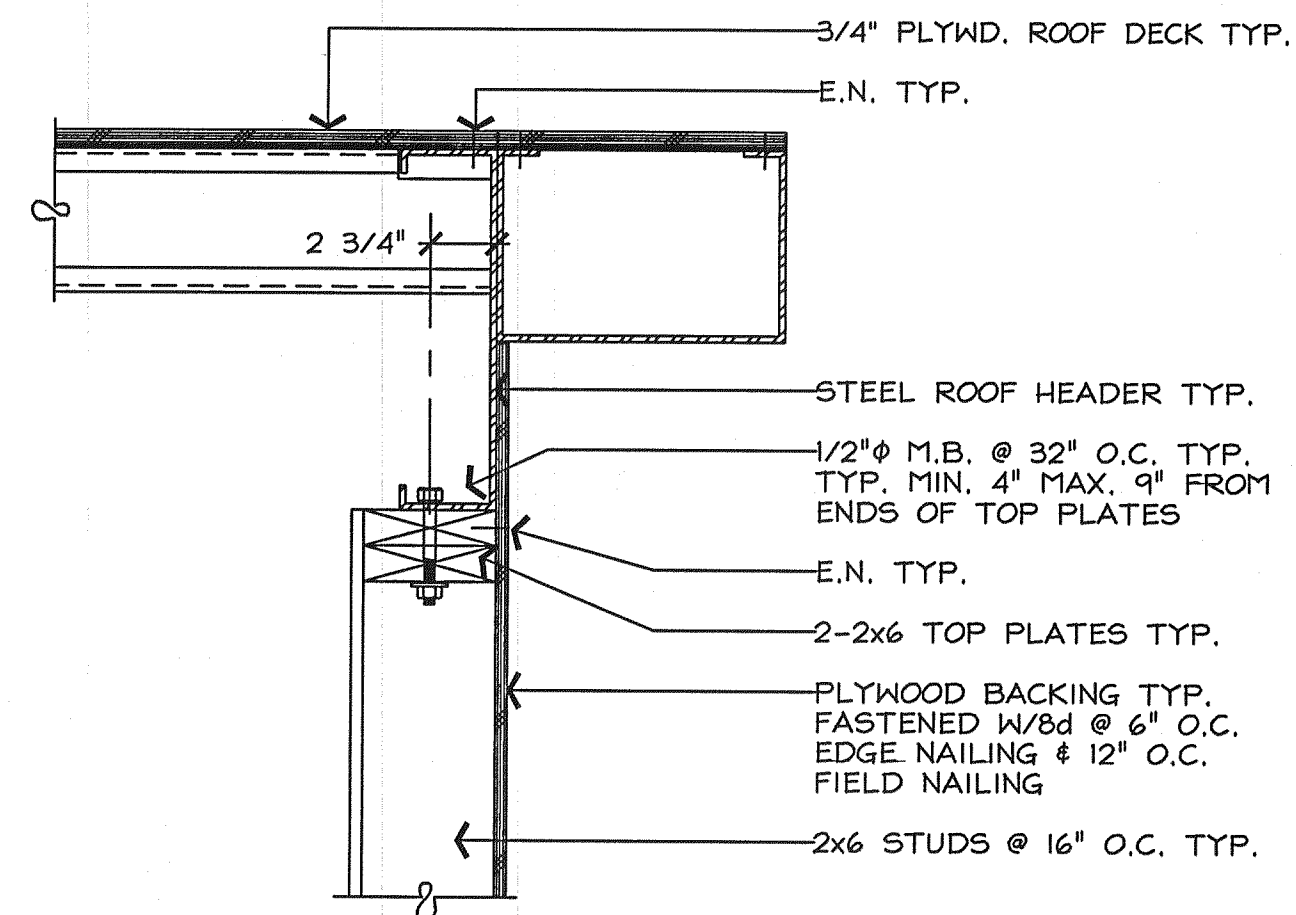
SHEET NO.

**S-3**

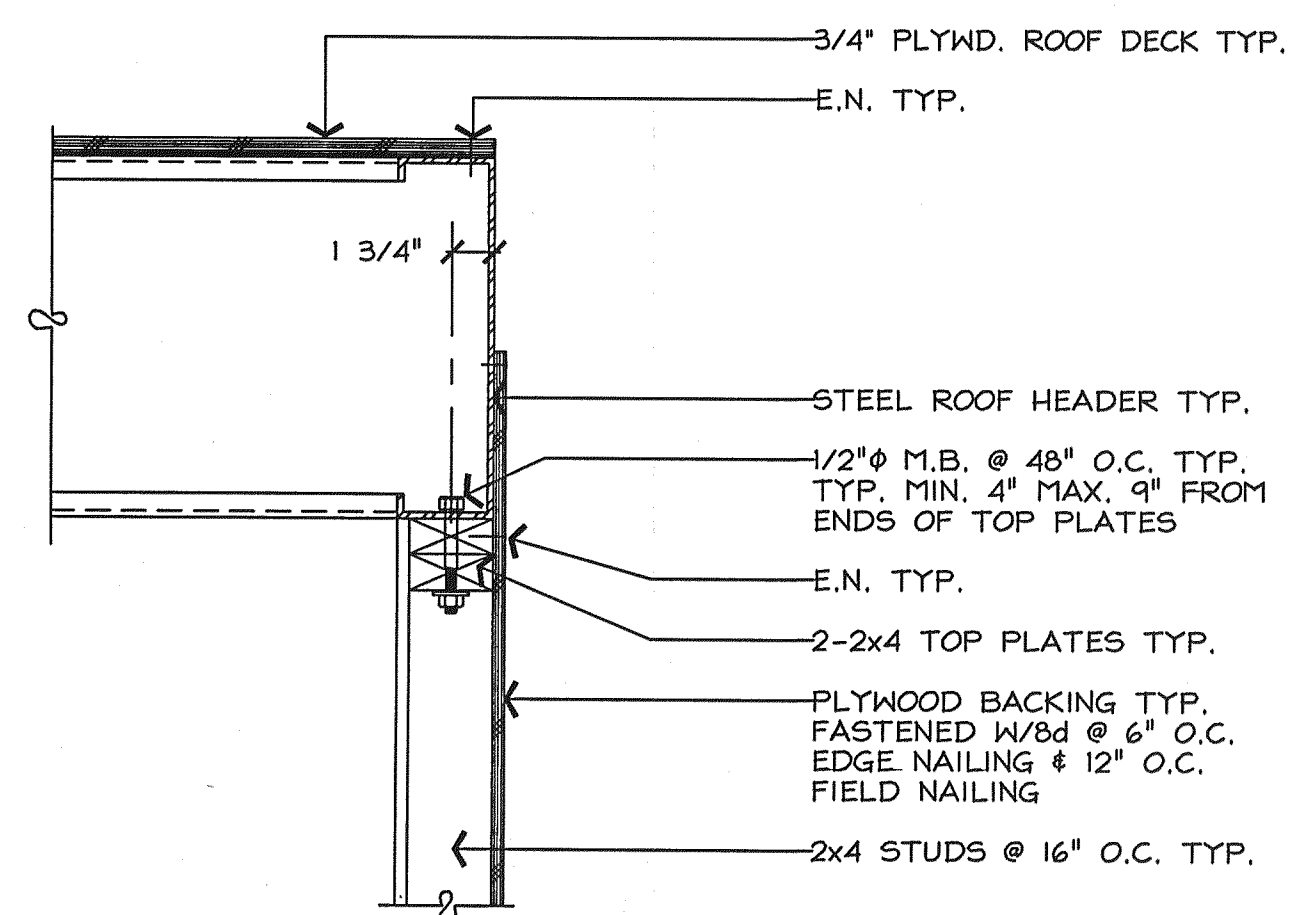
OF SHEETS

JOB NO.:  
00415

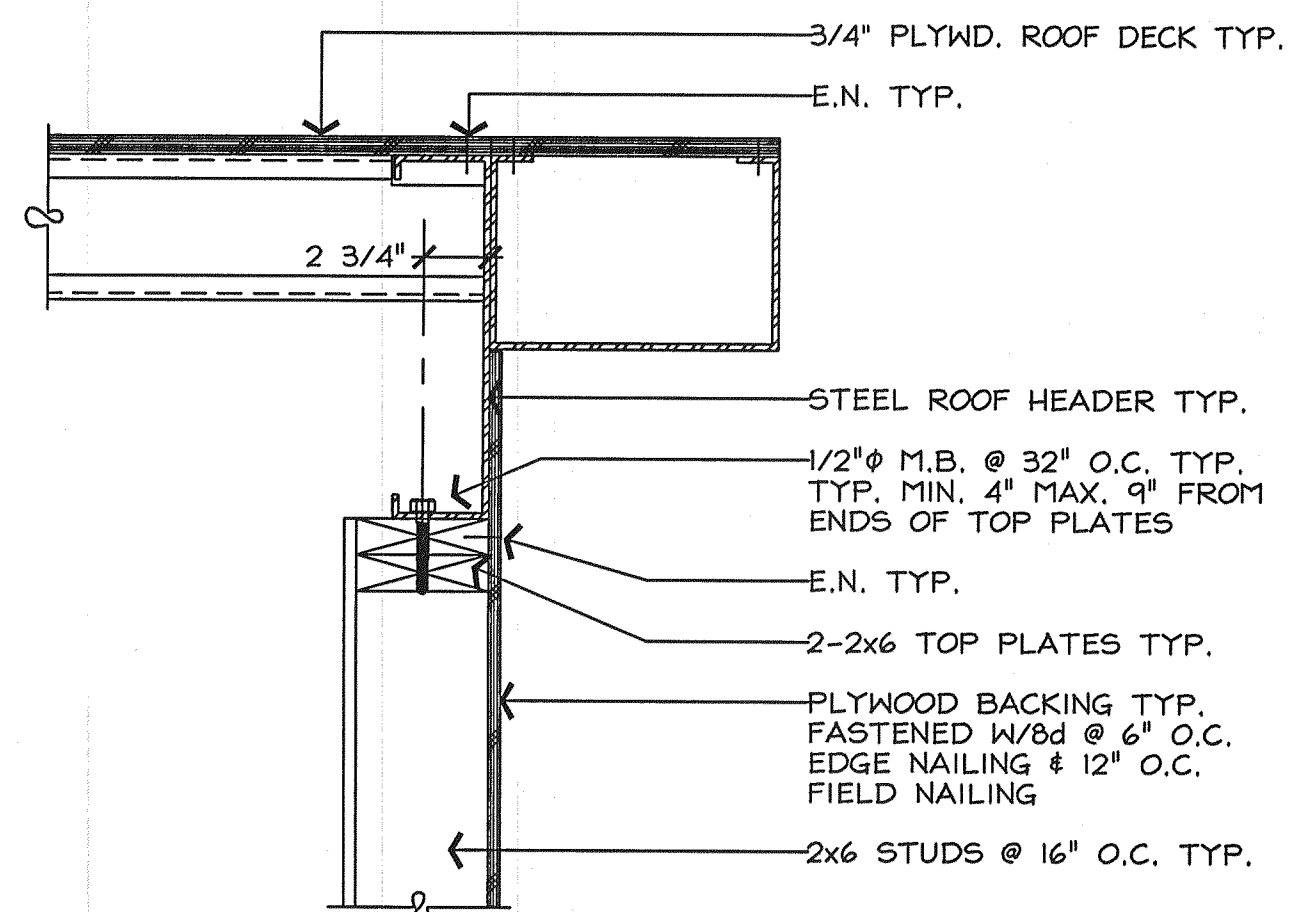




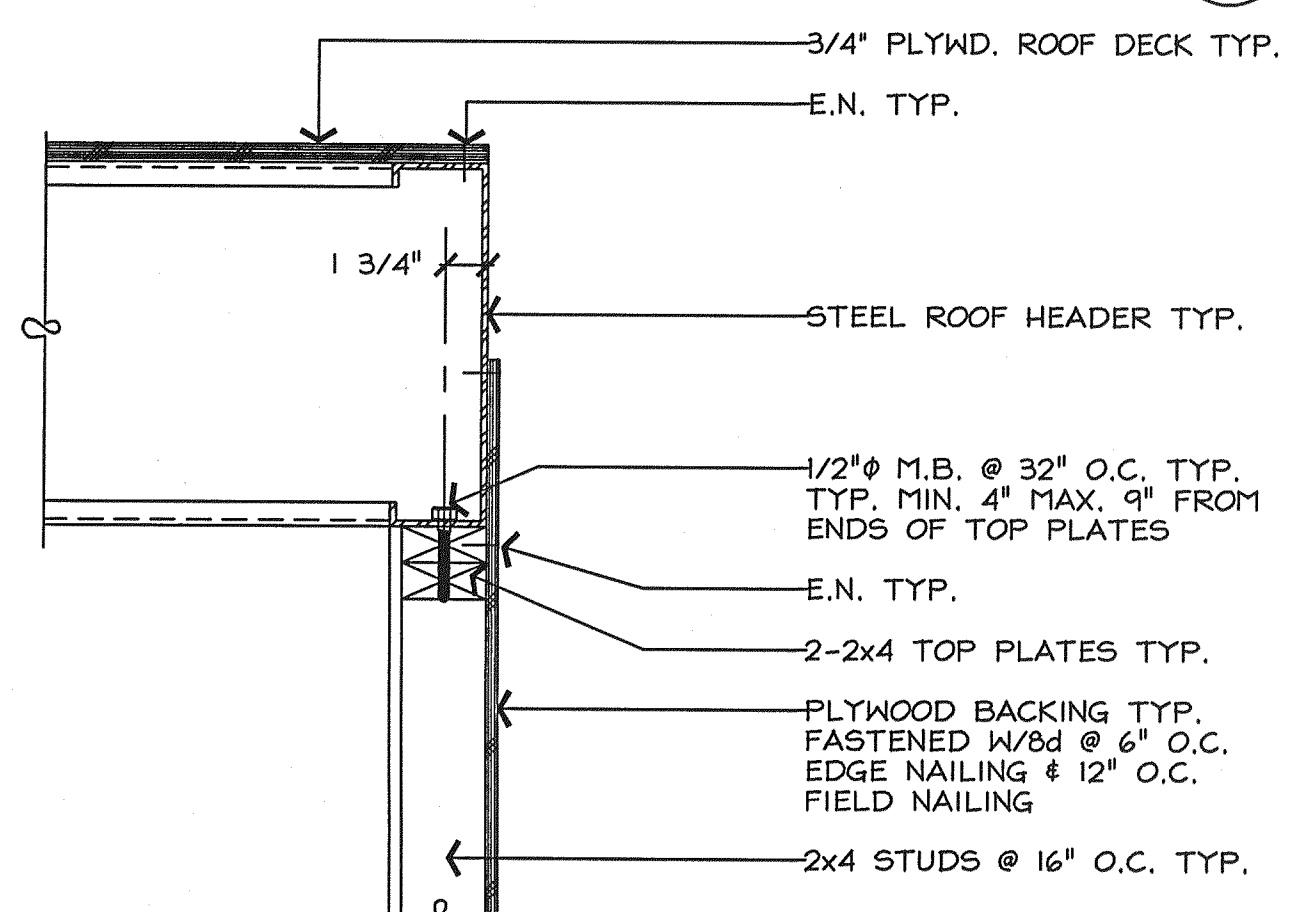
WALL ANCHOR @ ROOF (SIDE WALL) 4  
SCALE: 1-1/2"=1'-0"



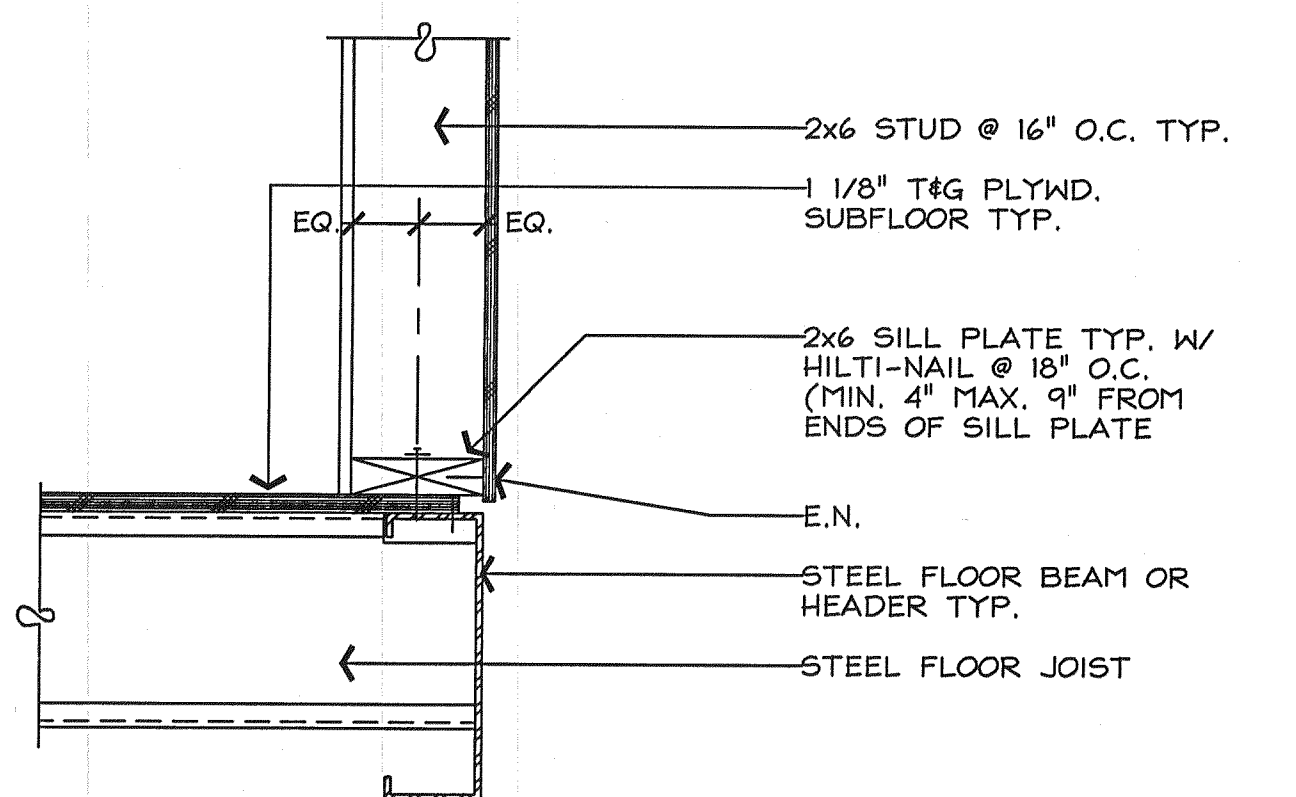
WALL ANCHOR @ ROOF (END WALL) 1  
SCALE: 1-1/2"=1'-0"



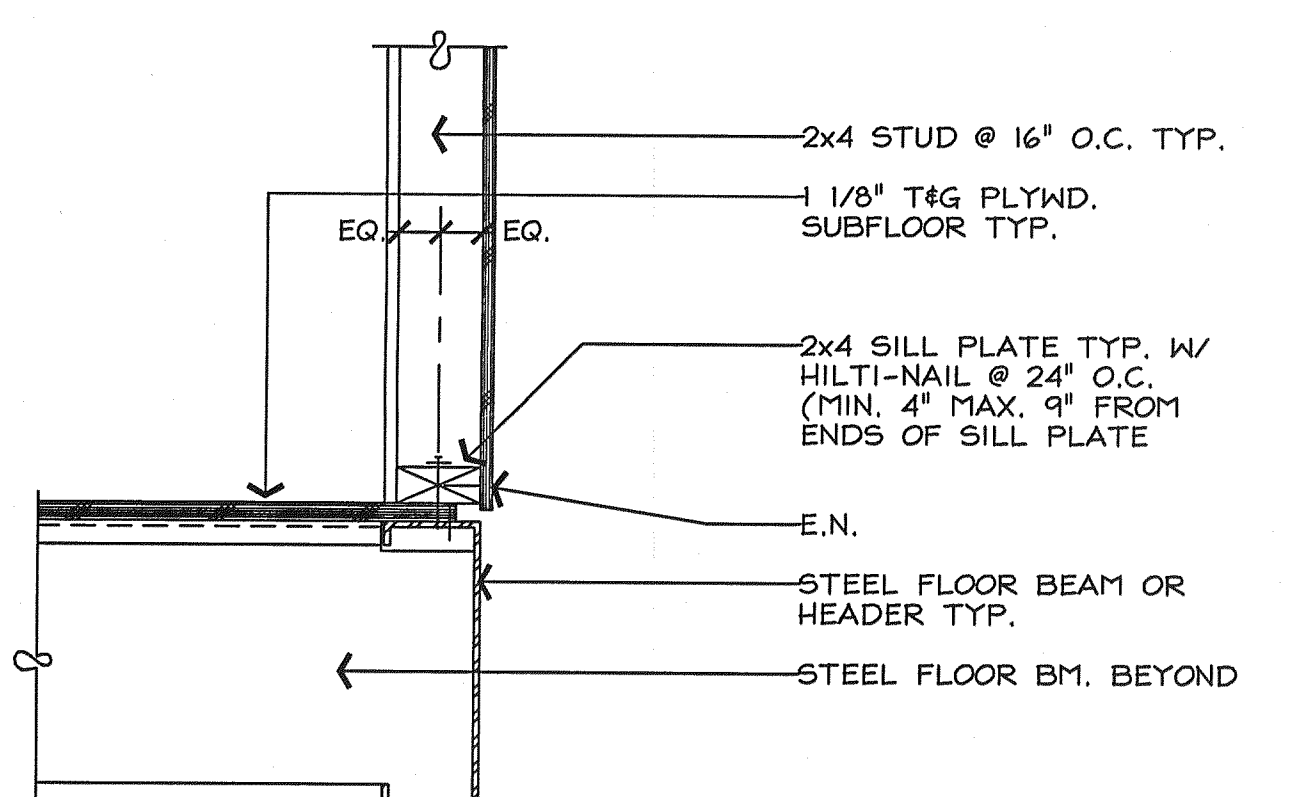
WALL ANCHOR @ ROOF (SIDE WALL) 4A  
SCALE: 1-1/2"=1'-0"



WALL ANCHOR @ ROOF (END WALL) 2  
SCALE: 1-1/2"=1'-0"



WALL ANCHOR @ FLOOR (SIDE WALL) 5  
SCALE: 1-1/2"=1'-0"



WALL ANCHOR @ FLOOR (END WALL) 3  
SCALE: 1-1/2"=1'-0"

STRUCTURAL NOTES:

GENERAL:  
DETAILS & NOTES SHOWN ARE TYPICAL & SHALL APPLY UNLESS OTHERWISE SHOWN OR NOTED DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME NATURE AS SHOWN FOR SIMILAR CONSTRUCTION.

STEEL:  
A. FABRICATION & WORKMANSHIP SHALL CONFORM TO U.B.C. CHAPTER 22, DIVISIONS I, III, V & VII.

B. STRUCTURAL STEEL SHALL CONFORM TO THE A.S.T.M. A-36. STEEL TUBING SHALL CONFORM TO THE A.S.T.M. A-500 GRADE B.

C. LIGHT GAGE STEEL SHALL CONFORM TO THE A.S.T.M. A-570 GRADE 33 & 40. ELEMENTS SHALL NOT DEVIATE MORE THAN 5% FROM NOMINAL U.S. GAGE (10 GA.-0.1345", 12 GA. - 0.105", & 14 GAGE 0.075") SEE PROPERTY TABLE.

D. MATERIAL TEST OF BEAMS, PURLINS, TUBE COLUMNS, MISC. ANGLES & PLATES SHALL BE TESTED IN ACCORDANCE WITH SECTION 2203, U.B.C. 1997

WELDING:  
STRUCTURAL WELDING SHALL BE BY THE "ELECTRIC ARC PROCESS" PER A.W.S. D1.1 & D1.3 "STRUCTURAL WELDING CODE-STEEL", AND SHALL BE PERFORMED BY "APPROVED WELDERS" IN THE SHOP OF A LICENSED FABRICATOR. WELDING ELECTRODES SHALL BE E70XX FOR STRUCTURAL STEEL & E60XX FOR LIGHT GAGE STEEL TYP.

BOLTS:  
COMMON BOLTS SHALL CONFORM TO A.S.T.M A-307. RETIGHTEN ALL BOLTS BEFORE CLOSING WALL IN.

LUMBER:  
A. FRAMING; ALL FRAMING SHALL BE GRADE MARKED BY AN APPROVED GRADING AGENCY & SHALL CONSIST OF DOUGLAS FIR #2 OR BETTER TYP. FOR HEADERS, STUDS, SILLS, PLATES, BLOCKING ETC.

B. PLYWOOD; ALL PANELS SHALL BE GRADE MARKED & SHALL BEAR "APA" TRADEMARK LEGIBLY APPLIED. ALL PLYWOOD SHALL BE GRADE MARKED IN ACCORDANCE W/ PSI-95. ALL STRUCTURAL PLYWOOD SHALL HAVE AN EXPOSED 1 RATING.

C. WOOD FOUNDATIONS (IF REQUIRED);  
NOT USED

D. UNLESS OTHERWISE SPECIFIED, ALL LUMBER HANGERS TO BE SIMPSON.

NAILING:  
NAILING TO BE AS PER TABLE 23-II-B-1 U.B.C. 1997  
TABLE 23-II-B-1 TITLE 24 NAILING SCHEDULE AND U.B.C. 1997.

JOIST TO SILL OR GIRDER TOENAIL	3-8d
BRIDGING TO JOISTS, TOENAIL EA. END	2-8d
BLOCKING BETWEEN JOISTS OR RAFTERS TO JOISTS OR RAFTER TOENAIL EA. SIDE, EA. END.	2-10d
BLOCKING BETWEEN STUDS, EA. END	2-10d TOENAILS OR 2-16d
1x6 SUBFLOOR OR LESS TO EA. JOIST, FACE NAIL	2-8d
WIDER THAN 1x6 SUBFLOOR OR LESS TO EA. JOIST, FACE NAIL	3-8d
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d @ 16" O.C.
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE	4-8d TOENAIL OR 2-16d END NAILS
DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
DOUBLE TOP PLATES, FACE NAIL	16d @ 16" O.C.
TOP PLATES, LAP & INTERSECTIONS, FACE NAIL	2-16d
CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EA. EDGE
CEILING JOISTS TO PLATE, TOENAIL	3-8d
CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
RAFTER TO PLATE-TOENAIL	3-8d
1" BRACE TO EA. STUD & PLATE, FACE NAIL	2-8d
1x8 SHEATHING OR LESS TO EA. BEARING, FACE NAIL	2-8d
WIDER THAN 1x8 SHEATHING TO EA. BEARING, FACE NAIL	3-8d
BUILT-UP CORNER STUDS	16d @ 24" O.C.
BUILT-UP GIRDERS & BEAMS	20d @ 32" O.C. @ TOP & BOT. & STAGGERED 2-20d @ ENDS AND @ EA. SPLICE
2" PLANKS	2-16d @ EA. BEARING
PLYWOOD SIDING	8d @ 6" O.C. E.N. & 8d @ 12" O.C. F.N.
FIBERBOARD SHEATHING (BACKING)	8d @ 6" O.C. E.N. & 8d @ 12" O.C. F.N.

LAG BOLTS:  
A. THE LEAD HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER & DEPTH AS THE UNTHREADED SHANK.

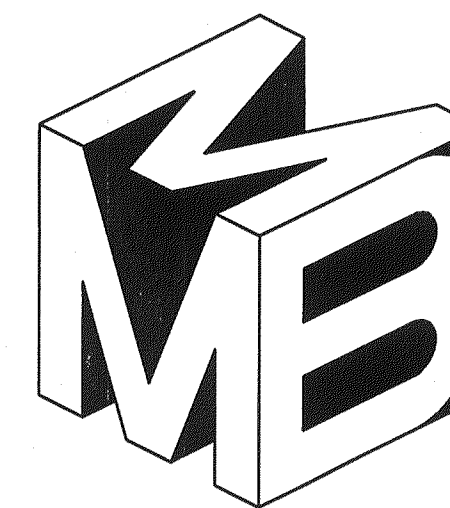
B. THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 60% OF THE SHANK AND LENGTH AT LEAST EQUAL TO THE THREADED PORTION.

C. THE BOLT SHALL BE INSERTED BY TURNING WITH A WRENCH, NOT BY DRIVING WITH A HAMMER. SOAP OR OTHER LUBRICANT SHALL BE USED.

D. RETIGHTEN ALL BOLTS BEFORE CLOSING WALLS IN.

BUILDING CODES:  
ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE U.B.C. 1997 EDITION. A COPY OF THE ABOVE MENTIONED CODES SHALL BE MADE AVAILABLE AT THE PLANT AND SITE.

HILTI-NAILS:  
UNLESS OTHERWISE NOTED ALL HILTI-NAILS USED SHALL BE CATALOG# X-ZP72P836 SHANK DIAMETER 0.145" PER I.C.B.O. REPORT #2388 DATED NOVEMBER 1, 1995



MEEHLEIS  
MODULAR  
BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887

DATE: JUNE 12, 2000

DRAWN: BLB

CHECKED:

REVISIONS:

STRUCTURAL NOTES WITH  
WALL ANCHOR DETAILS

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

STRUCTURAL ENGINEER

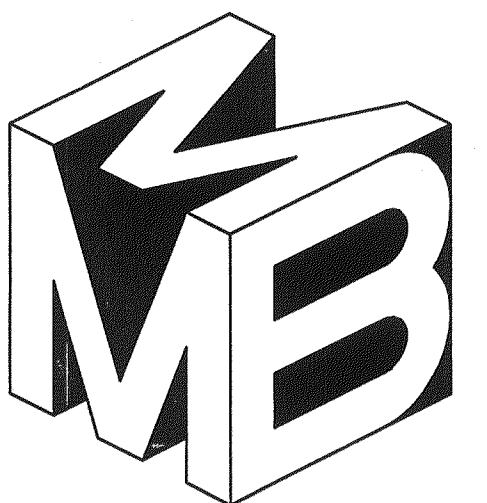
SHEET NO.

S-3A

OF SHEETS

JOB NO. 00415





MEEHLEIS  
MODULAR  
BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887

DATE: JULY 24, 2000  
DRAWN: KMC  
CHECKED:  
REVISIONS:

MECHANICAL LAYOUT  
New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

PRELIMINARY  
NOT FOR CONSTRUCTION

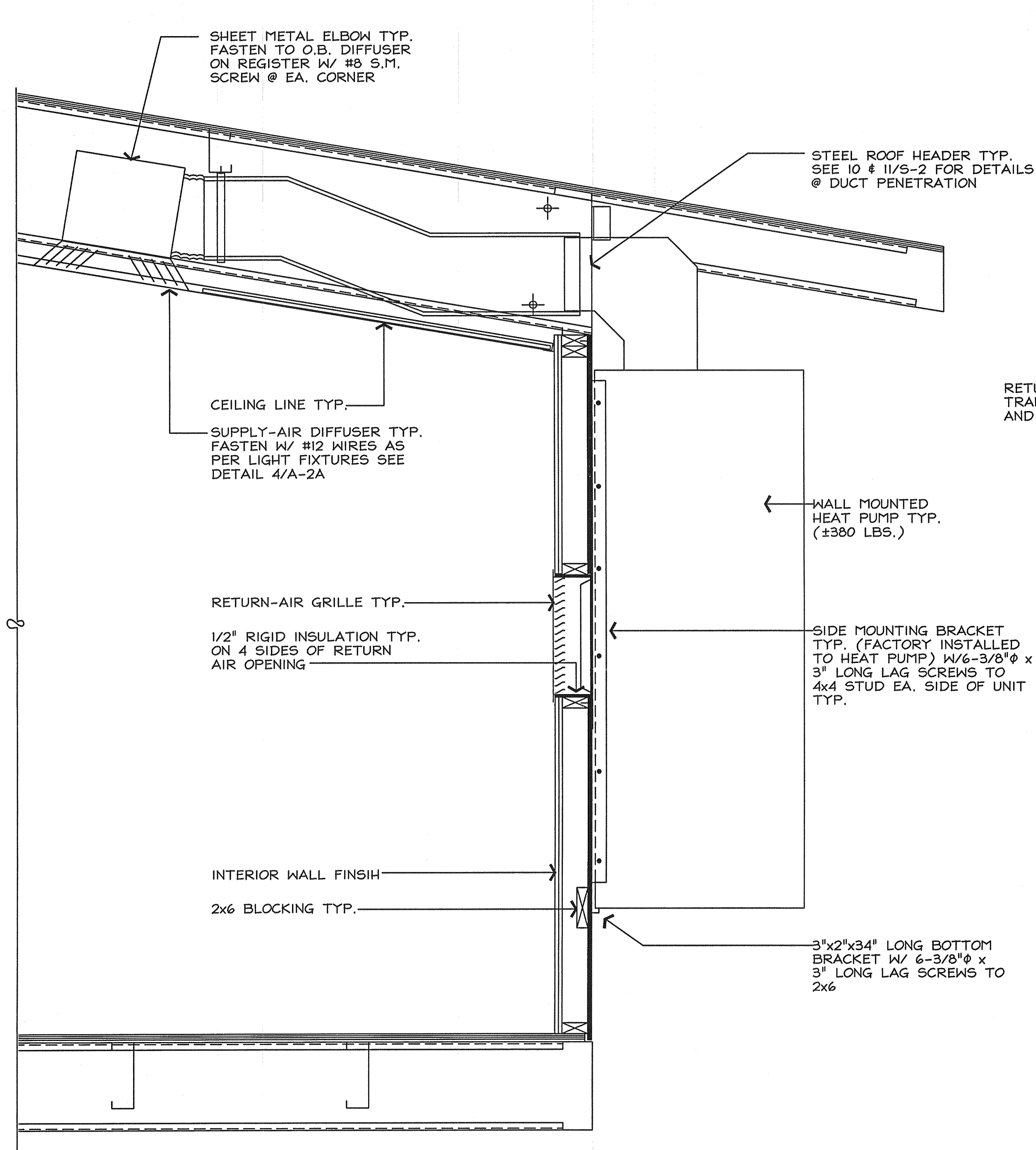
STRUCTURAL ENGINEER

SHEET NO.

M-1

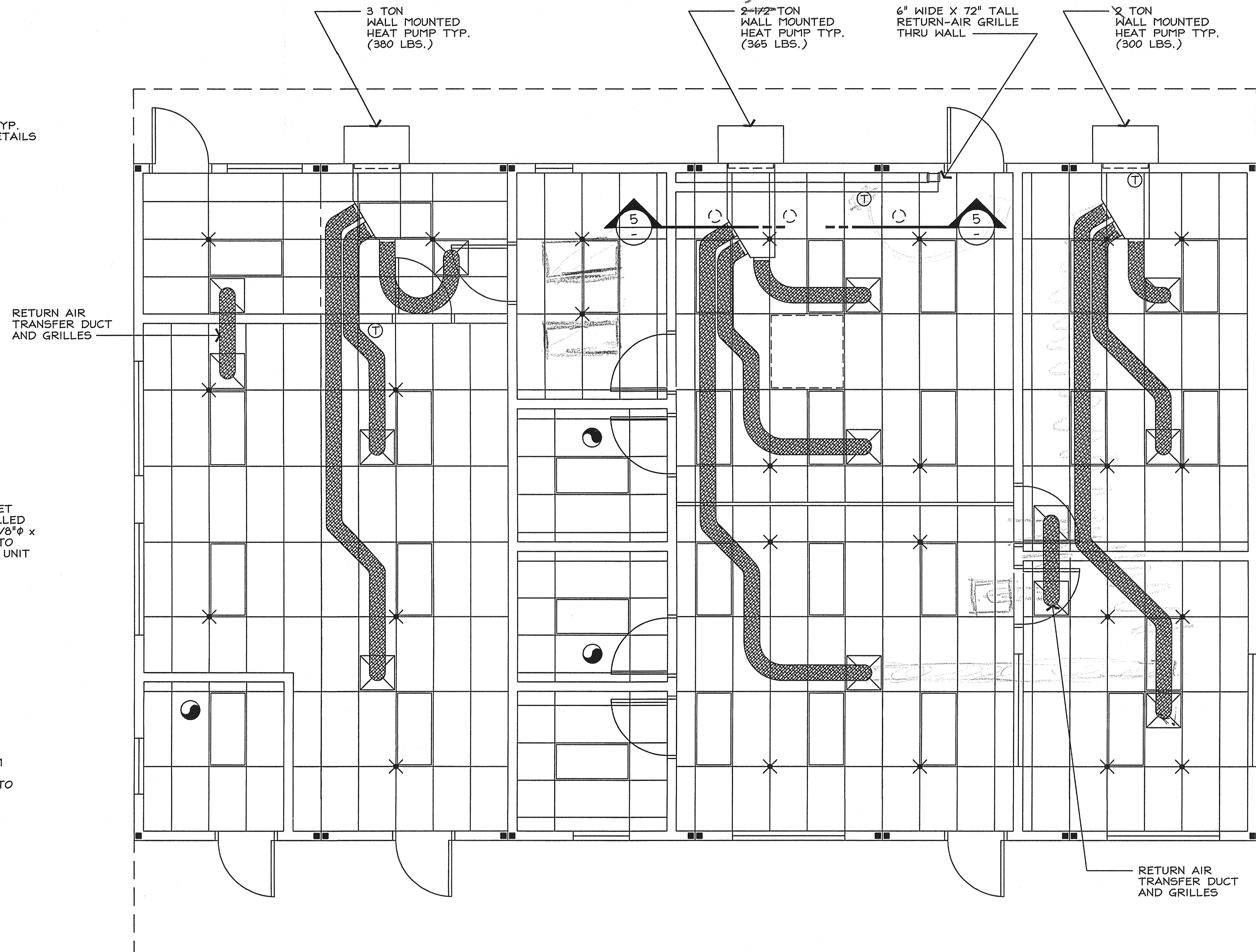
OF SHEETS

JOB NO.: 00415



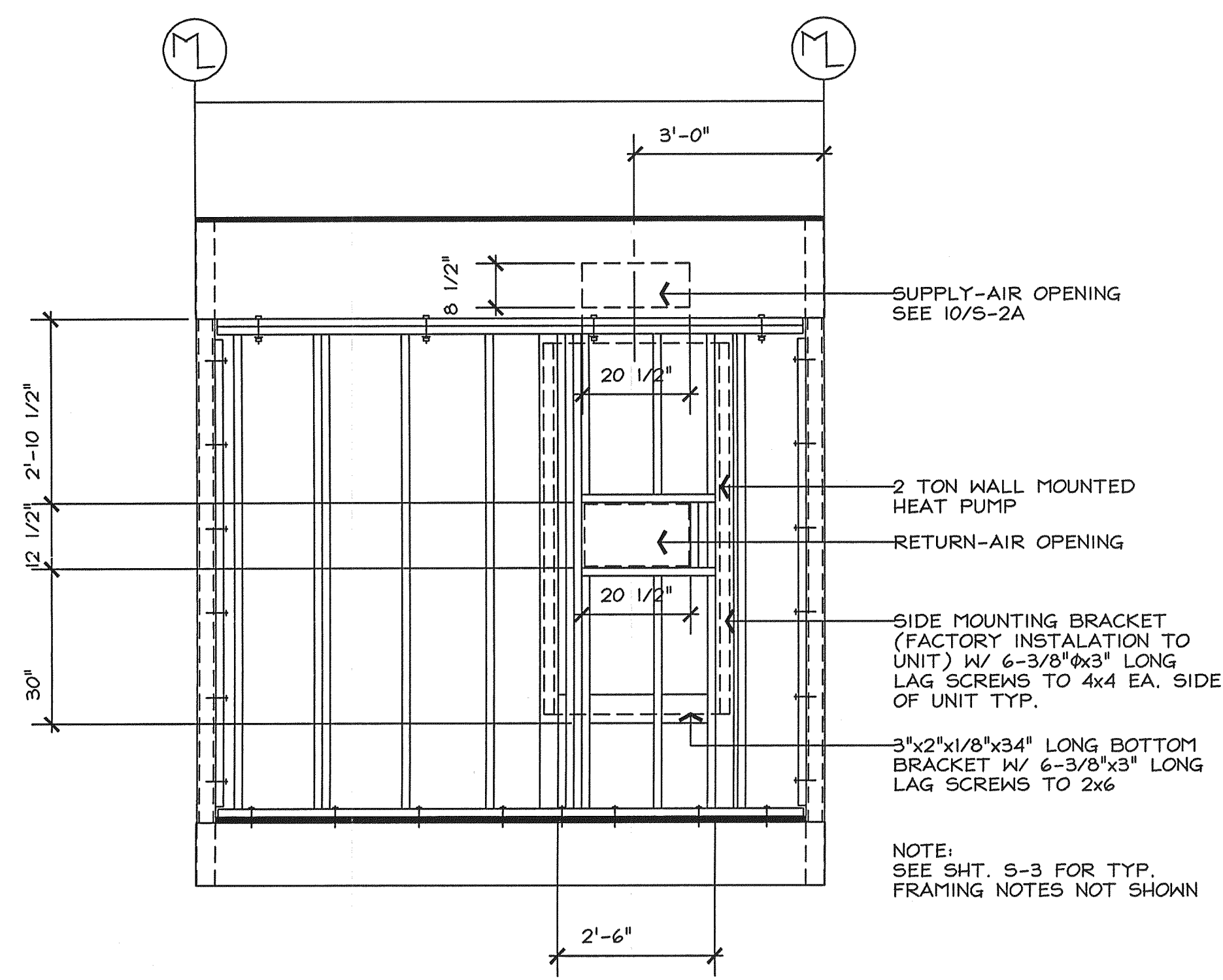
SECTION @ H.V.A.C. UNIT

SCALE 1"=1'-0"



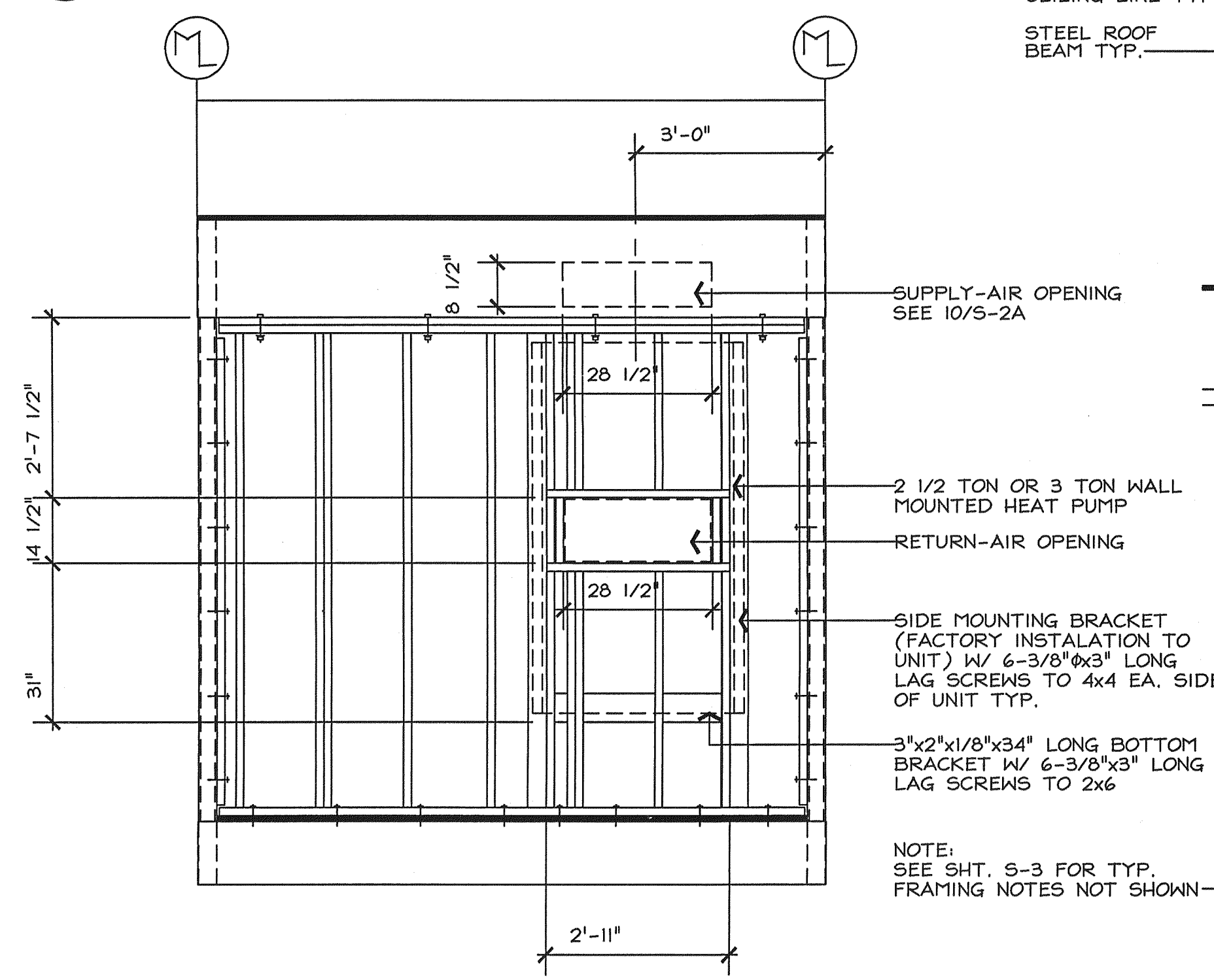
MECHANICAL PLAN

SCALE 1/4"=1'-0"



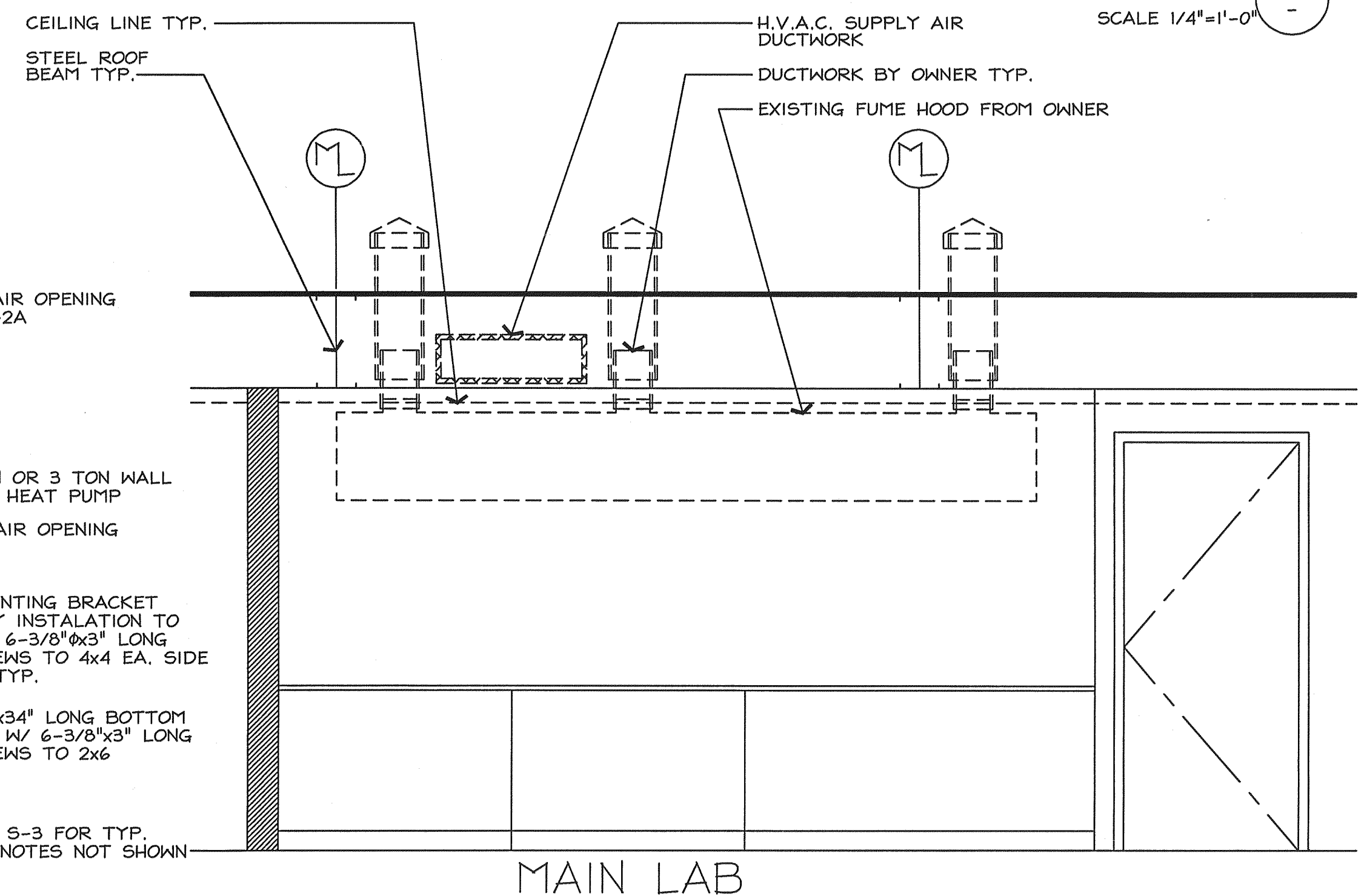
WALL FRAMING @ MECH. UNIT

SCALE 1/2"=1'-0"



WALL FRAMING @ MECH. UNIT

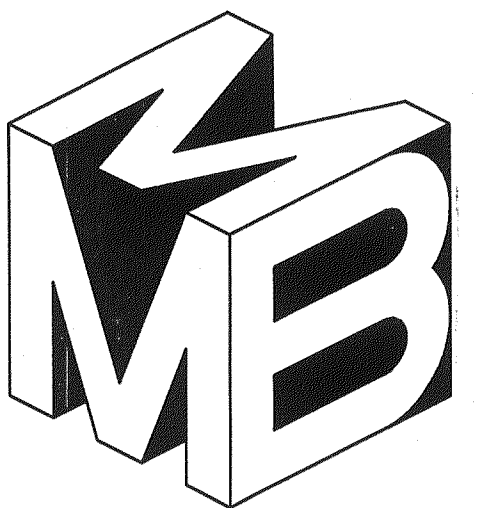
SCALE 1/2"=1'-0"



ELEV. @ FUME HOOD & MECH. DUCT WORK

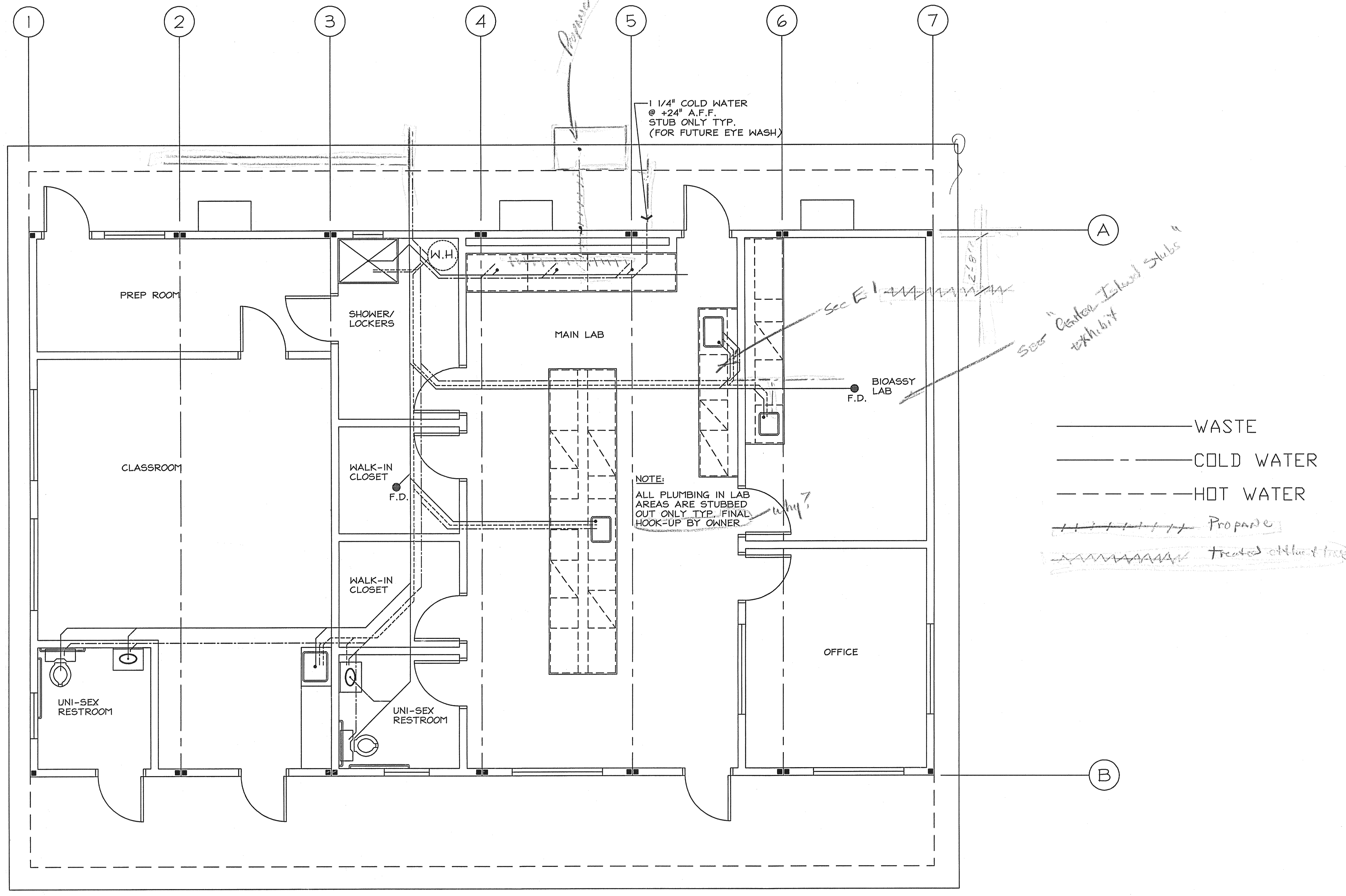
SCALE 1/2"=1'-0"





MEEHLEIS  
MODULAR  
BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887



PLUMBING PLAN

SCALE 1/4"=1'-0"

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

PLUMBING PLAN

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

SHEET NO.  
**P-1**

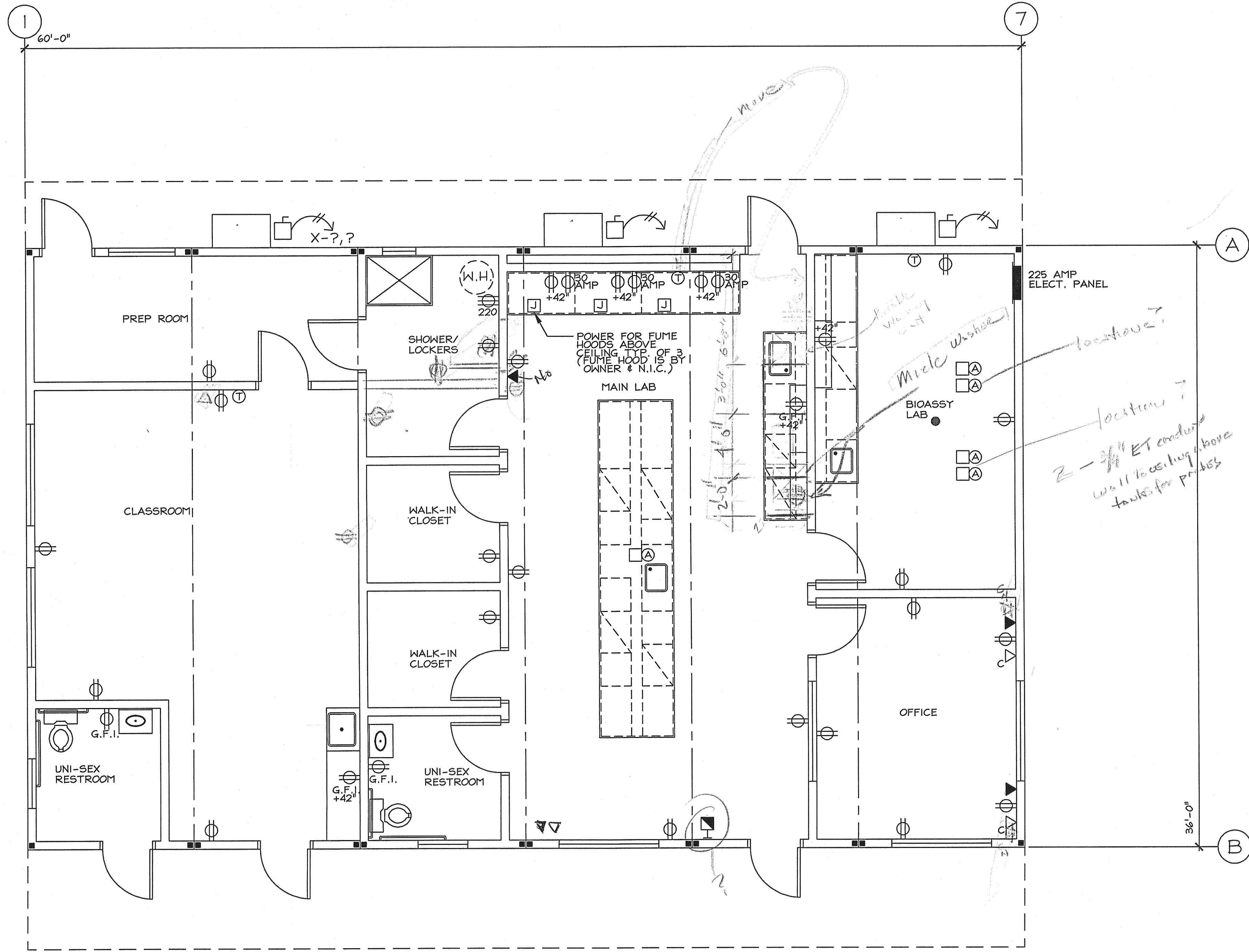
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JOB NO.: 00415



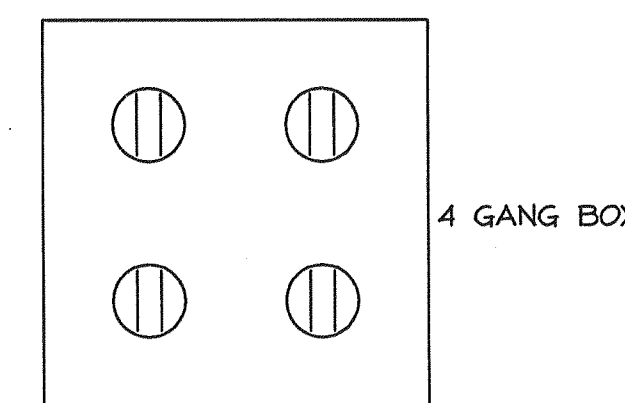
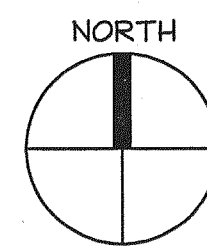
ELECTRICAL SYMBOLS:

- EXTERIOR LIGHT FIXTURE (W/ PHOTO CELL WHERE MOUNT @ + 8'-0" A.F.F. (INDICATED BY "PC")
- FIRE ALARM MANUAL PULL STATION MOUNT @ + 48" A.F.F.
- FIRE ALARM HORN ( EXTERIOR ) MOUNT @ + 7'-6" A.F.F.
- FIRE ALARM VISUAL STROBE LIGHT MOUNT @ + 80" A.F.F.
- EXIT SIGN MOUNT @ + 7'-6" A.F.F.
- JUNCTION BOX
- TELEPHONE / INTERCOM HANDSET MOUNT @ + 48" A.F.F.
- COMPUTER OUTLET  
*COMPUTER NETWORK OUTLET*
- THERMOSTAT - MOUNT @ 48" A.F.F. (UNSEALED) OR 60" A.F.F. (SEALED)
- ELECTRICAL WALL RECEPTACLE MOUNT @ 12" A.F.F. TYP. U.O.N. ON PLANS
- ELECTRICAL WALL RECEPTACLE W/ SURGE PROTECTOR MOUNT @ 12" A.F.F. TYP U.O.N. ON PLANS
- ELECTRICAL WALL RECEPTACLE W/ GROUND FAULT INTERRUPTER MOUNT @ 12" A.F.F. TYP U.O.N. ON PLANS
- ELECTRICAL WALL RECEPTACLE (220 VOLTS)
- TOGGLE SWITCH MOUNT @ + 48" A.F.F.
- 3 WAY TOGGLE SWITCH MOUNT @ + 48" A.F.F.
- SURFACE MOUNTED LIGHT FIXTURE 1'X4'
- RECESSED CEILING LIGHT FIXTURE 2'X4'
- CLOCK OUTLET MOUNT @ + 7'-6" A.F.F.
- ELECTRICAL PANEL
- EXTERIOR FLOOD LIGHT (W/ PHOTO CELL WHERE MOUNT @ + 8'-0" A.F.F. (INDICATED BY "PC")



POWER PLAN

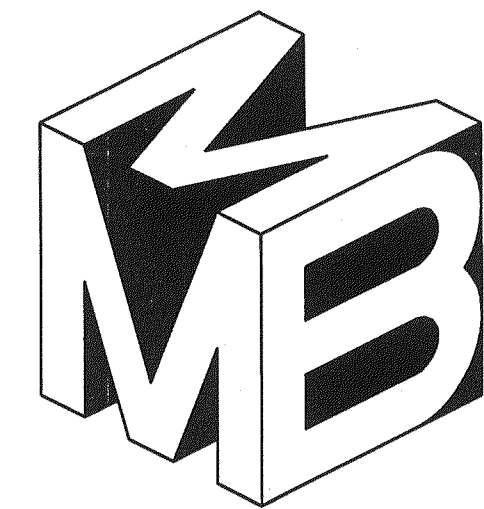
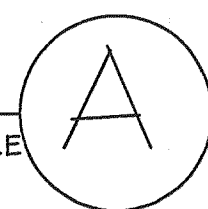
SCALE 1/4"=1'-0"



4 GANG BOX

DETAIL

NOT TO SCALE



MEEHLEIS  
MODULAR  
BUILDINGS, INC.  
A DESIGN BUILD  
COMPANY

1303 E. LODI AVE.  
LODI, CA. 95240  
(209) 334-4637  
CA. LIC. NO. 473488  
NV. LIC. NO. 37887

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

ELECTRICAL POWER PLAN

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

**PRELIMINARY**  
NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

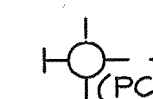


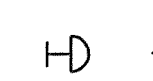




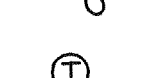


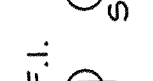
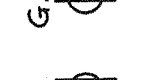
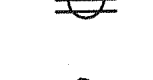
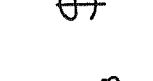
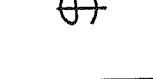





SHEET NO.

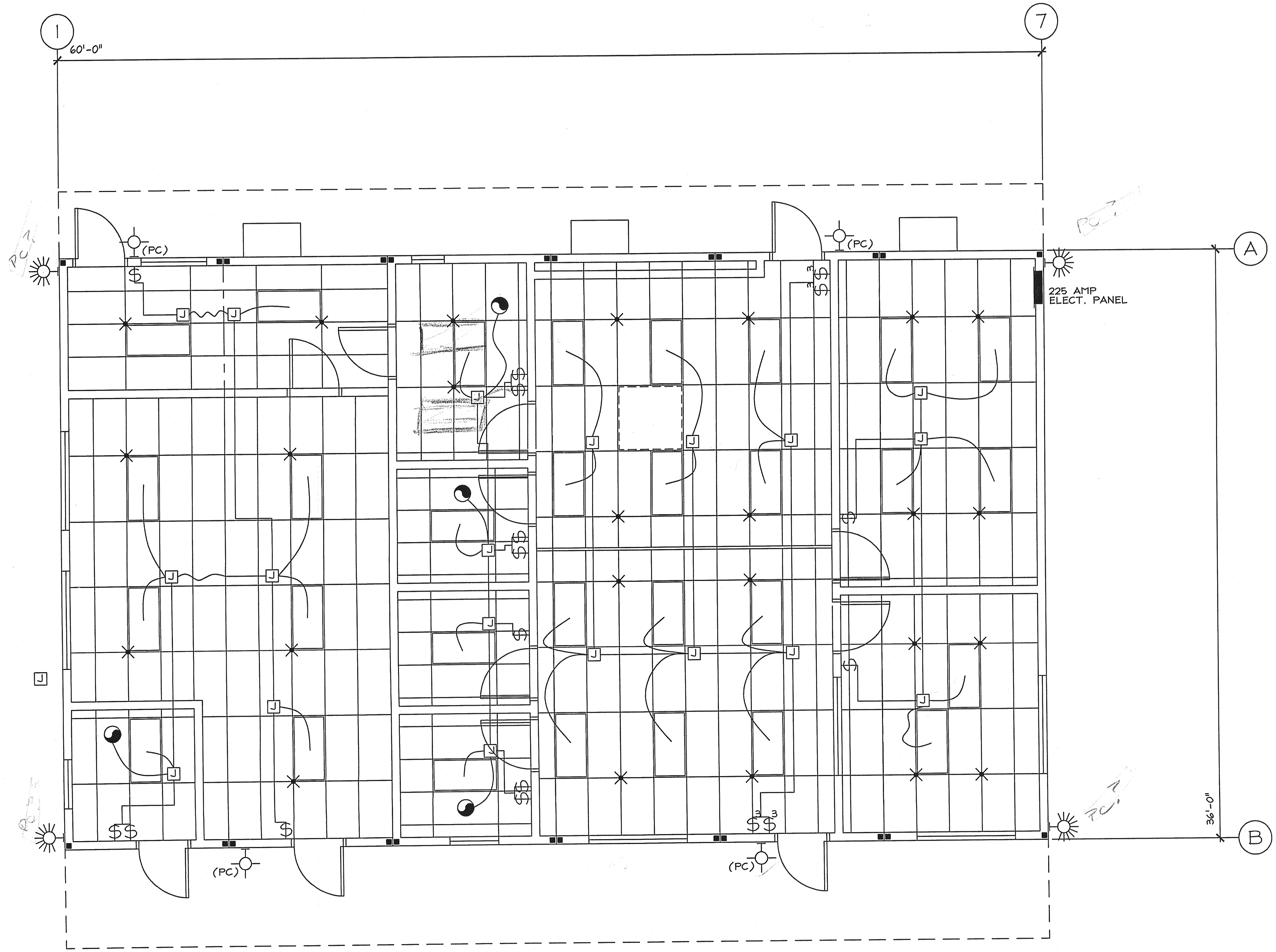
**E-1**

OF SHEETS

JOB NO.: 00415

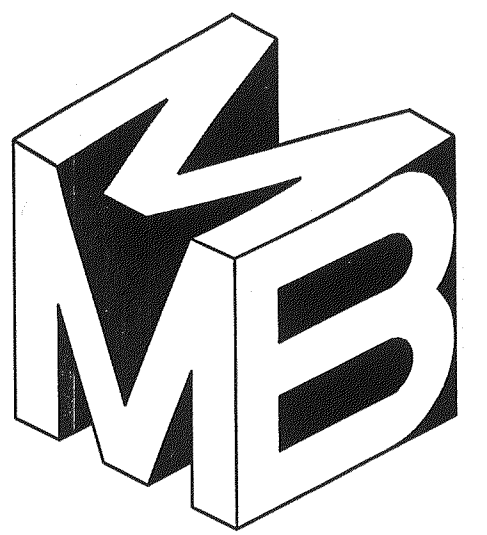
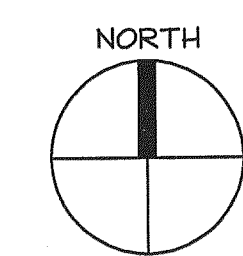
ELECTRICAL SYMBOLS:

-  EXTERIOR LIGHT FIXTURE (W/ PHOTO CELL, WHERE MOUNT @ + 8'-0" A.F.F. (INDICATED BY "PC")
-  FIRE ALARM MANUAL PULL STATION MOUNT @ + 48" A.F.F.
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-  FIRE ALARM VISUAL STROBE LIGHT MOUNT @ + 80" A.F.F.
-  EXIT SIGN MOUNT @ + 7'-6" A.F.F.
-  JUNCTION BOX
-  TELEPHONE / INTERCOM HANDSET MOUNT @ + 48" A.F.F.
-  COMPUTER OUTLET
-  THERMOSTAT - MOUNT @ 48" A.F.F. (UNSEALED) OR 60" A.F.F. (SEALED)
-  ELECTRICAL WALL RECEPTACLE MOUNT @ 15" A.F.F. TYP. U.O.N. ON PLANS
-  ELECTRICAL WALL RECEPTACLE W/ SURGE PROTECTOR MOUNT @ 15" A.F.F. TYP U.O.N. ON PLANS
-  ELECTRICAL WALL RECEPTACLE W/ GROUND FAULT INTERRUPTER MOUNT @ 15" A.F.F. TYP U.O.N. ON PLANS
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-  SURFACE MOUNTED LIGHT FIXTURE 1'X4'
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-  CLOCK OUTLET MOUNT @ + 7'-6" A.F.F.
-  ELECTRICAL PANEL
-  EXTERIOR FLOOD LIGHT (W/ PHOTO CELL, WHERE MOUNT @ + 8'-0" A.F.F. (INDICATED BY "PC")
-  EXHAUST FAN



LIGHTING LAYOUT

SCALE 1/4"=1'-0"



MEEHLEIS MODULAR BUILDINGS, INC. A DESIGN BUILD COMPANY

1303 E. LODI AVE. LODI, CA. 95240 (209) 334-4637 CA. LIC. NO. 473488 NV. LIC. NO. 37887

DATE:	JULY 24, 2000
DRAWN:	KMC
CHECKED:	
REVISIONS:	

ELECTRICAL LIGHTING LAYOUT

New Building for: Las Gallinas Valley Sanitary District  
San Rafael, California

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

STRUCTURAL ENGINEER

SHEET NO.  
**E-2**  
OF SHEETS

JOB NO.: C0415



**RECORDING REQUESTED BY AND RETURN TO:**

**PACIFIC GAS AND ELECTRIC COMPANY**  
**245 Market Street, N10A, Room 1015**  
**P.O. Box 770000**  
**San Francisco, California 94177**

Location: City/Uninc \_\_\_\_\_  
Recording Fee \$ \_\_\_\_\_  
Document Transfer Tax \$ \_\_\_\_\_

- This is a conveyance where the consideration and Value is less than \$100.00 (R&T 11911).
- Computed on Full Value of Property Conveyed, or
- Computed on Full Value Less Liens & Encumbrances Remaining at Time of Sale
- Exempt from the fee per GC 27388.1 (a) (2); This document is subject to Documentary Transfer Tax

(SPACE ABOVE FOR RECORDER'S USE ONLY)

\_\_\_\_\_  
Signature of declarant or agent determining tax

LD# 2402-06-10105

EASEMENT DEED

PM# 35110428

LAS GALLINAS VALLEY SANITARY DISTRICT, a California special district created pursuant to Health & Safety Code Sec. 6400, et seq., hereinafter called Grantor, hereby grants to PACIFIC GAS AND ELECTRIC COMPANY, a California corporation, hereinafter called Grantee, the right from time to time to excavate for, construct, reconstruct, replace (of initial or any other size), remove, maintain, inspect, and use facilities and associated equipment for public utility purposes, including, but not limited to electric, gas, and communication facilities, together with a right of way therefor, on, over, and under the easement area as hereinafter set forth, and also ingress thereto and egress therefrom, over and across the lands of Grantor situated in the City of San Rafael, County of Marin, State of California, described as follows:

(APN 155-121-20, -27, -29)

Lands of LAS GALLINAS SANITARY DISTRICT as shown upon the Record of Survey Map filed for record October 14, 2016 in Book 2016 of Maps at page 118, Marin County Records.

The easement area is described as follows:

The strips of land described in EXHIBIT "A", EXHIBIT "C", EXHIBIT "E", and EXHIBIT "G" and shown on EXHIBIT "B", EXHIBIT "D", EXHIBIT "F", and EXHIBIT "H" attached hereto and made a part hereof.

Grantor hereby confirms in Grantee all necessary rights for Grantee's existing pole line and other appurtenances located on said lands as shown on the EXHIBIT "I" attached hereto and made a part hereof.

Grantor further grants to Grantee the right, from time to time, to trim or to cut down, without Grantee paying compensation, any and all trees and brush now or hereafter within said easement area, and shall have the further right, from time to time, to trim and cut down trees and brush along each side of said

easement area which now or hereafter in the opinion of Grantee may interfere with or be a hazard to the facilities installed hereunder, or as Grantee deems necessary to comply with applicable state or federal regulations.

Grantor also grants to Grantee the right to use such portion of said lands contiguous to said easement area as may be reasonably necessary in connection with the excavation, construction, reconstruction, replacement, removal, maintenance and inspection of said facilities.

Grantor hereby covenants and agrees not to place or construct, nor allow a third party to place or construct, any building or other structure, or store flammable substances, or drill or operate any well, or construct any reservoir or other obstruction within said easement area, or diminish or substantially add to the ground level within said easement area, or construct any fences that will interfere with the maintenance and operation of said facilities.

Grantor further grants to Grantee the right to apportion to another public utility (as defined in Section 216 of the California Public Utilities Code) the right to excavate for, construct, reconstruct, replace, remove, maintain, inspect, and use the communications facilities within said easement area including ingress thereto and egress therefrom.

Grantor acknowledges that they have read the "Grant of Easement Disclosure Statement", Exhibit "J", attached hereto and made a part hereof.

This document may be executed in multiple counterparts, each of which shall be deemed an original, but all of which, together, shall constitute one and the same instrument.

The provisions hereof shall inure to the benefit of and bind the successors and assigns of the respective parties hereto, and all covenants shall apply to and run with the land.

Dated: 11/11/2020.

LAS GALLINAS VALLEY SANITARY DISTRICT, a California Special District

R. Elias  
By: \_\_\_\_\_

By: \_\_\_\_\_

Rabi Elias, President  
Print Name and Title

Print Name and Title



I hereby certify that a resolution was adopted on the 5<sup>th</sup> day of November, 2020, by the Las Gallinas Valley Sanitary District authorizing the foregoing grant of easement.  
By Teresa Lerch  
Teresa Lerch, Board Secretary



**CALIFORNIA ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
County of Marin

On November 11, 2020 before me, Amy Leanne Schultz Notary Public  
Date Here Insert Name and Title of the Officer

personally appeared Rabi Elias  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Place Notary Seal and/or Stamp Above

Signature Amy Leanne Schultz  
Signature of Notary Public

**OPTIONAL**

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: DRIVE EASEMENT

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

- Corporate Officer – Title(s): \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian or Conservator
- Other: \_\_\_\_\_

Signer is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

- Corporate Officer – Title(s): \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian or Conservator
- Other: \_\_\_\_\_

Signer is Representing: \_\_\_\_\_

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**PG&E EASEMENT**

BEING A PORTION OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY THAT CERTAIN DEED RECORDED AUGUST 22, 1958 IN BOOK 1212 OF OFFICIAL RECORDS AT PAGE 13, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS, AT PAGE 57, MARIN COUNTY RECORDS, LYING WITHIN SECTION 15, TOWNSHIP 2 NORTH, RANGE 5 WEST, MD, BEING A STRIP OF LAND 12.61 FEET WIDE LYING 6.305 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

**COMMENCING** AT THE SOUTHWESTERLY CORNER OF PARCEL TEN OF SAID GRANT DEED, SAID CORNER BEING ON THE BOUNDARY LINE OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY GRANT DEED AND DEED OF EASEMENTS RECORDED AUGUST 22, 1958 IN BOOK 1212 AT PAGE 13 AS SHOWN ON BOOK 17 OF SURVEYS AT PAGE 57, OF SAID OFFICIAL RECORDS;

**THENCE** THE FOLLOWING TWO (2) COURSES ALONG THE SOUTHERLY LINE OF SAID PARCEL TEN;

- 1) NORTH 75°30'00" EAST, A DISTANCE OF 110.05 FEET;
- 2) SOUTH 50°00'00" EAST, A DISTANCE OF 3.93 FEET;

**THENCE** LEAVING SAID SOUTHERLY LINE NORTH 36°45'11" EAST, A DISTANCE OF 30.86 FEET;

**THENCE** NORTH 41°15'29" EAST, A DISTANCE OF 94.24 FEET;

**THENCE** NORTH 39°59'00" EAST, A DISTANCE OF 13.52 FEET TO A POINT ON THE NORTHWESTERLY LINE OF SAID PARCEL TEN;

**THENCE** LEAVING SAID NORTHWESTERLY LINE OF SAID PARCEL TEN AND CONTINUING NORTH 39°59'00" EAST, A DISTANCE OF 154.46 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 113.50 FEET, TO WHICH A RADIAL LINE BEARS NORTH 44°50'15" WEST;

**THENCE** NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 88°03'50", AN ARC DISTANCE OF 174.45 FEET TO A POINT WHICH A RADIAL LINE BEARS NORTH 43°13'55" EAST;

**THENCE** SOUTH 53°21'38" EAST, A DISTANCE OF 24.93 FEET;

1 OF 2

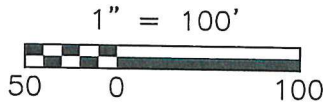
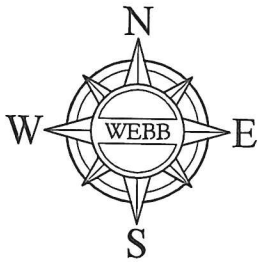
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*Albert A. Webb Associates*



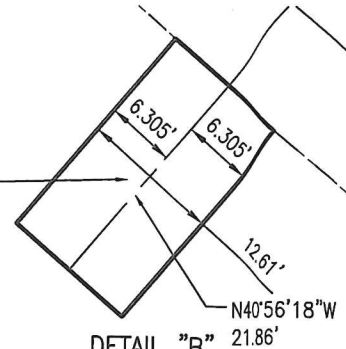


# EXHIBIT "B"

## PG&E EASEMENT



PGE EASEMENT  
276 SF



LANDS OF SILVEIRA SAN RAFAEL RANCH LLC,  
PARCEL SIX DOC. NO. 2016-0061171  
REC. 12/29/16, MARIN COUNTY RECORDS  
APN 155-011-12

LANDS OF SILVEIRA SAN  
RAFAEL RANCH LLC  
PARCEL TEN DOC. NO.  
2016-0061171 REC.  
12/29/2016  
MARIN COUNTY RECORDS  
APN 155-121-30

NORTHWESTERLY  
LINE PARCEL TEN

N75°30'00"E  
110.05'

POC  
SW COR.  
PAR. 1

1/2" T.P. TAGGED  
"LS 8806" PER  
2016 ROS 118

PARCEL NINE LANDS OF SILVEIRA SAN  
RAFAEL RANCH LLC DOC. NO. 2016-0061171  
REC. 12/29/2016 MARIN COUNTY RECORDS  
APN 155-121-17

PARCEL TWO LANDS OF  
COUNTY OF MARIN BOOK 2799  
PAGE 361 INST.19470 REC.  
5/31/74 O.R. MARIN COUNTY  
RECORDS APN 155-121-13



6/16/20

(M.D.M. T2N R5W SEC. 15 SE 1/4 OF NW 1/4)

THE BASIS OF BEARINGS FOR THE HEREIN  
DESCRIBED LEGAL DESCRIPTION IS TAKEN  
FROM DATA SHOWN ON THAT CERTAIN  
RECORD OF SURVEY FILED IN BOOK 17  
OF SURVEYS AT PAGE 57, MARIN COUNTY  
RECORDS.

QUITCLAIM DEED  
REC. 8/20/81  
DN 81037581 O.R.  
MARIN COUNTY RECORDS

17 O.S. 57  
1212 O.R. 13  
2016 ROS 118  
LANDS OF LAS GALLINAS  
VALLEY SANITARY DISTRICT  
APN 155-121-27 & -29

PGE EASEMENT  
276 SF

LGVSD PAR. 1A  
DN 81-037582  
REC. 8/20/81  
MARIN COUNTY RECORDS

LGVSD RD EASMT.  
PAR. 2  
DN 81-037582  
REC. 8/20/1981  
RECORDS MARIN COUNTY

R=113.50'  
Δ=88°03'50" L=174.45'

S53°21'38"E 24.93'

S50°06'33"E 80.58'

S49°48'36"E 38.50'

S40°56'18"W 9.59'

S40°56'18"W 21.86'

SEE DETAIL "B"  
ABOVE

RANCHO SAN PEDRO, SANTA MARGARITA Y LAS GALLINAS

ALBERT A.  
**WEBB**  
ASSOCIATES

PG & E

G:\2015\15-0154\Drawings\Mapping\PLATS N LEGALS\REVISED PGE ALR\15-154 PGE ESMT COUNTY.dwg

THIS PLAT IS SOLELY AN AID IN LOCATING THE PARCEL(S) IN THE ATTACHED DOCUMENT.  
ALL PRIMARY CALLS ARE LOCATED IN THE WRITTEN DOCUMENT.

SHEET 1 OF 1

W.O.  
15-0154

SCALE: 1"=100'

DRWN BY ALR  
CHKD BY MJ

DATE 12/17/19  
DATE 12/17/19

SUBJECT: PGE EASEMENT

**EXHIBIT "C"**  
**LEGAL DESCRIPTION**  
**PG&E EASEMENT**

BEING A PORTION OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY THAT CERTAIN DEED RECORDED AUGUST 22, 1958 IN BOOK 1212 OF OFFICIAL RECORDS AT PAGE 13, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS, AT PAGE 57, MARIN COUNTY RECORDS, LYING WITHIN SECTION 15, TOWNSHIP 2 NORTH, RANGE 5 WEST, MD, BEING A STRIP OF LAND 10.00 FEET WIDE LYING 5.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

**COMMENCING** AT THE SOUTHWESTERLY CORNER OF PARCEL TEN OF SAID GRANT DEED, SAID CORNER BEING ON THE BOUNDARY LINE OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY GRANT DEED AND DEED OF EASEMENTS RECORDED AUGUST 22, 1958 IN BOOK 1212 AT PAGE 13 AS SHOWN ON BOOK 17 OF SURVEYS AT PAGE 57, OF SAID OFFICIAL RECORDS;

**THENCE** THE FOLLOWING TWO (2) COURSES ALONG THE SOUTHERLY LINE OF SAID PARCEL TEN;

1) NORTH 75°30'00" EAST, A DISTANCE OF 110.05 FEET;

2) SOUTH 50°00'00" EAST, A DISTANCE OF 3.93 FEET;

**THENCE** LEAVING SAID SOUTHERLY LINE NORTH 36°45'11" EAST, A DISTANCE OF 30.86 FEET;

**THENCE** NORTH 41°15'29" EAST, A DISTANCE OF 94.24 FEET;

**THENCE** NORTH 39°59'00" EAST, A DISTANCE OF 13.52 FEET TO A POINT ON THE NORTHWESTERLY LINE OF SAID PARCEL TEN;

**THENCE** LEAVING SAID NORTHWESTERLY LINE OF SAID PARCEL TEN AND CONTINUING NORTH 39°59'00" EAST, A DISTANCE OF 154.46 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 113.50 FEET, TO WHICH A RADIAL LINE BEARS NORTH 44°50'15" WEST;

**THENCE** NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 88°03'50", AN ARC DISTANCE OF 174.45 FEET TO A POINT WHICH A RADIAL LINE BEARS NORTH 43°13'55" EAST;

**THENCE** SOUTH 53°21'38" EAST, A DISTANCE OF 24.93 FEET;

**THENCE** SOUTH 50°06'33" EAST, A DISTANCE OF 80.58 FEET;

1 OF 2

*\\elsmore\WO2\2015\15-0154\Drawings\Mapping\PLATS N LEGALS\REVISED PGE ALR\PGE #5\15-154 LEGAL PGE EASEMENT #5.docx*  
*Albert A. Webb Associates*





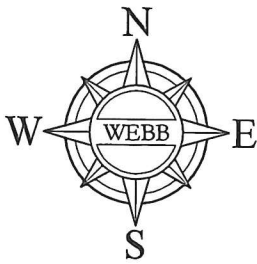
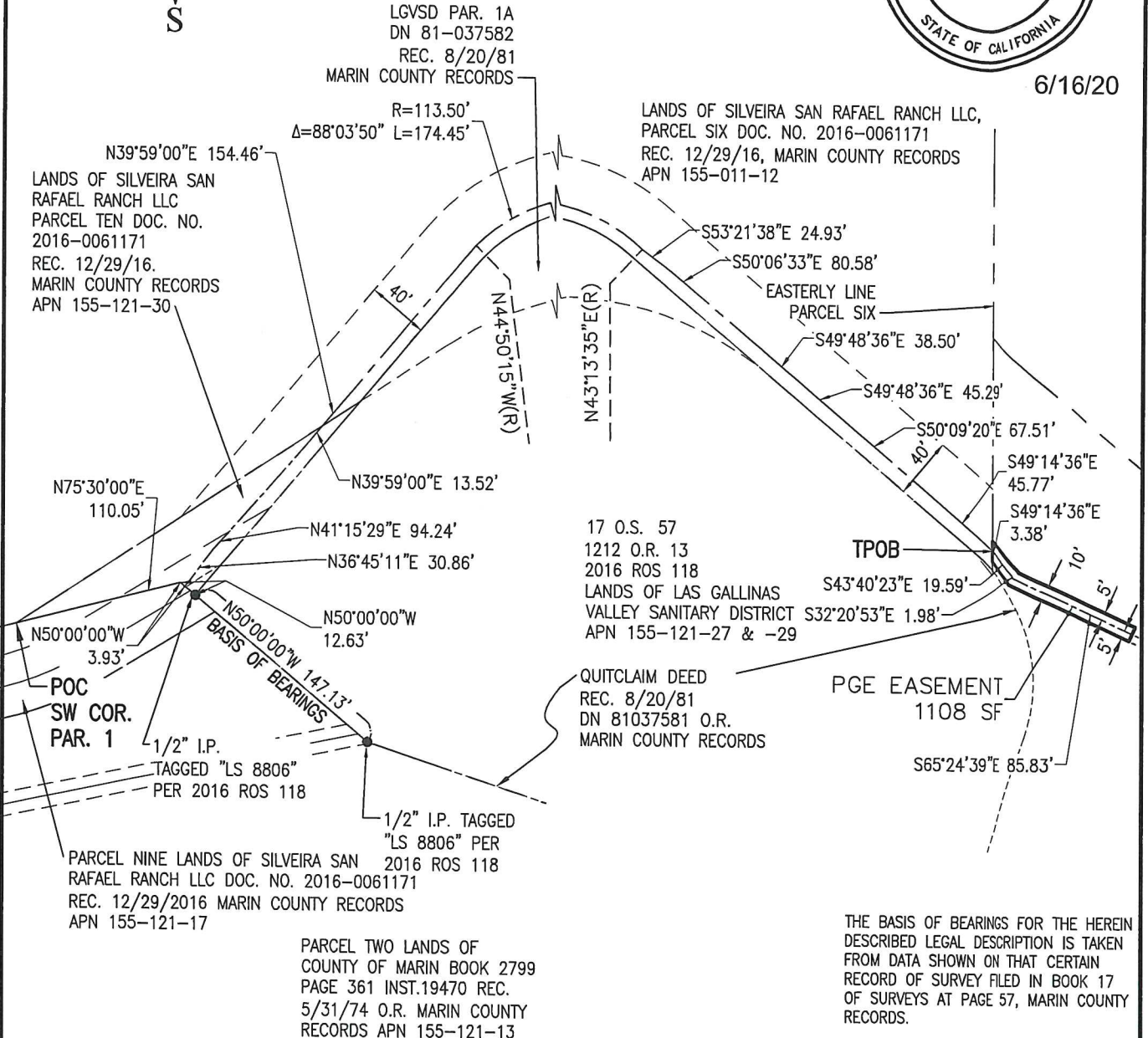


EXHIBIT "D"  
PG&E EASEMENT  
1" = 100'



6/16/20



THE BASIS OF BEARINGS FOR THE HEREIN DESCRIBED LEGAL DESCRIPTION IS TAKEN FROM DATA SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS AT PAGE 57, MARIN COUNTY RECORDS.

RANCHO SAN PEDRO, SANTA MARGARITA Y LAS GALLINAS (M.D.M. T2N R5W SEC. 15 SE 1/4 OF NW 1/4)

<b>ALBERT A. WEBB ASSOCIATES</b>	<b>P G &amp; E</b>	
	G:\2015\15-0154\Drawings\Mapping\PLATS N LEGALS\REVISED PGE ALR\15-154 PGE ESMT COUNTY.dwg	
THIS PLAT IS SOLELY AN AID IN LOCATING THE PARCEL(S) IN THE ATTACHED DOCUMENT. ALL PRIMARY CALLS ARE LOCATED IN THE WRITTEN DOCUMENT.		SHEET 1 OF 1
SCALE: 1"=100'	DRWN BY ALR CHKD BY MJ	DATE 12/17/19 DATE 12/17/19
SUBJECT: PGE EASEMENT		W.O. 15-0154



**EXHIBIT "E"**  
**LEGAL DESCRIPTION**  
**PG&E EASEMENT**

BEING A PORTION OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY THAT CERTAIN DEED RECORDED AUGUST 22, 1958 IN BOOK 1212 OF OFFICIAL RECORDS AT PAGE 13, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS, AT PAGE 57, MARIN COUNTY RECORDS, LYING WITHIN SECTION 15, TOWNSHIP 2 NORTH, RANGE 5 WEST, MD, BEING A STRIP OF LAND 30.00 FEET WIDE LYING 15.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

**COMMENCING** AT THE SOUTHWESTERLY CORNER OF PARCEL TEN OF SAID GRANT DEED, SAID CORNER BEING ON THE BOUNDARY LINE OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY GRANT DEED AND DEED OF EASEMENTS RECORDED AUGUST 22, 1958 IN BOOK 1212 AT PAGE 13 AS SHOWN ON BOOK 17 OF SURVEYS AT PAGE 57, OF SAID OFFICIAL RECORDS;

**THENCE** THE FOLLOWING TWO (2) COURSES ALONG THE SOUTHERLY LINE OF SAID PARCEL TEN;

1) NORTH 75°30'00" EAST, A DISTANCE OF 110.05 FEET;

2) SOUTH 50°00'00" EAST, A DISTANCE OF 3.93 FEET;

**THENCE** LEAVING SAID SOUTHERLY LINE NORTH 36°45'11" EAST, A DISTANCE OF 30.86 FEET;

**THENCE** NORTH 41°15'29" EAST, A DISTANCE OF 94.24 FEET;

**THENCE** NORTH 39°59'00" EAST, A DISTANCE OF 13.52 FEET TO A POINT ON THE NORTHWESTERLY LINE OF SAID PARCEL TEN;

**THENCE** LEAVING SAID NORTHWESTERLY LINE OF SAID PARCEL TEN AND CONTINUING NORTH 39°59'00" EAST, A DISTANCE OF 154.46 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 113.50 FEET, TO WHICH A RADIAL LINE BEARS NORTH 44°50'15" WEST;

**THENCE** NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 88°03'50", AN ARC DISTANCE OF 174.45 FEET TO A POINT WHICH A RADIAL LINE BEARS NORTH 43°13'55" EAST;

**THENCE** SOUTH 53°21'38" EAST, A DISTANCE OF 24.93 FEET;

**THENCE** SOUTH 50°06'33" EAST, A DISTANCE OF 80.58 FEET;

1 OF 2

*\\elsinore\WO2\2015\15-0154\Drawings\Mapping\PLATS N LEGALS\REVISED PGE ALR\PGE #6\15-154 LEGAL PGE EASEMENT #6.docx*  
*Albert A. Webb Associates*



# EXHIBIT "F" PG&E EASEMENT



6/16/20

LGVSD PAR. 1A  
DN 81-037582  
REC. 8/20/1981  
MARIN COUNTY RECORDS

LANDS OF SILVEIRA SAN RAFAEL RANCH LLC,  
PARCEL SIX DOC. NO. 2016-0061171  
REC. 12/29/16, MARIN COUNTY RECORDS  
APN 155-011-12

LANDS OF SILVEIRA SAN RAFAEL RANCH LLC  
PARCEL TEN DOC. NO. 2016-0061171  
REC. 12/29/16, MARIN COUNTY RECORDS  
APN 155-121-30

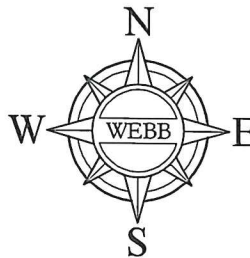
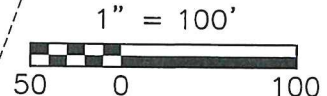
LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT  
APN 155-011-15

LGVSD RD EASMT. PAR. 2  
DN 81-037582  
REC. 8/20/1981  
MARIN COUNTY RECORDS

17 O.S. 57  
1212 O.R. 13  
2016 ROS 118  
LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT  
APN 155-121-27 & -29

QUITCLAIM DEED  
REC. 8/20/81  
DN 81037581 O.R.  
MARIN COUNTY RECORDS

PGE EASEMENT  
3364 SF



N75°30'00"E 110.05'  
N36°45'11"E 30.86'  
N50°00'00"W 12.63'  
S50°00'00"E 3.93'  
POC SW COR. PAR. 1

1/2" I.P. TAGGED "LS 8806" PER 2016 ROS 118

PARCEL TWO LANDS OF COUNTY OF MARIN BOOK 2799 PAGE 361 INST.19470 REC. 5/31/74 O.R. MARIN COUNTY RECORDS APN 155-121-13

THE BASIS OF BEARINGS FOR THE HEREIN DESCRIBED LEGAL DESCRIPTION IS TAKEN FROM DATA SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS AT PAGE 57, MARIN COUNTY RECORDS.

RANCHO SAN PEDRO, SANTA MARGARITA Y LAS GALLINAS

(M.D.M. T2N R5W SEC. 15 SE 1/4 OF NW 1/4)

**ALBERT A. WEBB ASSOCIATES**

**P G & E**

G:\2015\15-0154\Drawings\Mapping\PLATS N LEGALS\REVISED PGE ALR\15-154 PGE ESMT COUNTY.dwg

THIS PLAT IS SOLELY AN AID IN LOCATING THE PARCEL(S) IN THE ATTACHED DOCUMENT. ALL PRIMARY CALLS ARE LOCATED IN THE WRITTEN DOCUMENT.

SHEET 1 OF 1

W.O. 15-0154

SCALE: 1"=100'

DRWN BY ALR  
CHKD BY MJ

DATE 12/17/19  
DATE 12/17/19

SUBJECT: PGE EASEMENT



**EXHIBIT "G"**  
**LEGAL DESCRIPTION**  
**PG&E EASEMENT**

BEING A PORTION OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AS CONVEYED BY THAT CERTAIN DEED RECORDED AUGUST 22, 1958 IN BOOK 1212 OF OFFICIAL RECORDS AT PAGE 13, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS, AT PAGE 57, MARIN COUNTY RECORDS, LYING WITHIN SECTION 15, TOWNSHIP 2 NORTH, RANGE 5 WEST, MD, BEING A STRIP OF LAND 10.00 FEET WIDE LYING 5.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

**COMMENCING** AT THE MOST SOUTHERLY CORNER OF THE LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT 1212 O.R. 13 MARIN COUNTY RECORDS AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 17 OF SURVEYS AT PAGE 57, MARIN COUNTY RECORDS;

**THENCE** NORTH 62°15'00" WEST ALONG THE SOUTHWESTERLY BOUNDARY LINE OF SAID LANDS OF LAS GALLINAS VALLEY SANITARY DISTRICT AND SAID RECORD OF SURVEY, A DISTANCE OF 124.20 FEET;

**THENCE** LEAVING SAID BOUNDARY LINE SOUTH 87°40'11" EAST, A DISTANCE OF 118.97 FEET;

**THENCE** NORTH 28°04'09" EAST, A DISTANCE OF 175.00 FEET;

**THENCE** NORTH 48°00'03" WEST, A DISTANCE OF 117.04 FEET;

**THENCE** NORTH 00°26'37" WEST, A DISTANCE OF 21.97 FEET TO THE **TRUE POINT OF BEGINNING**;

**THENCE** NORTH 26°15'01" EAST, A DISTANCE OF 26.57 FEET;

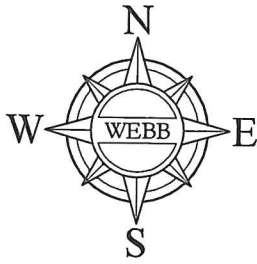
**THENCE** NORTH 68°29'19" EAST, A DISTANCE OF 109.90 FEET;

**THENCE** SOUTH 60°52'07" EAST, A DISTANCE OF 4.56 FEET;

**THENCE** NORTH 31°35'33" EAST, A DISTANCE OF 12.08 FEET;

**THENCE** NORTH 15°06'37" WEST, A DISTANCE OF 203.04 FEET;





# EXHIBIT "H" PG&E EASEMENT

17 O.S. 57  
1212 O.R. 13  
2016 ROS 118  
LANDS OF LAS GALLINAS  
VALLEY SANITARY DISTRICT  
APN 155-121-27 & -29

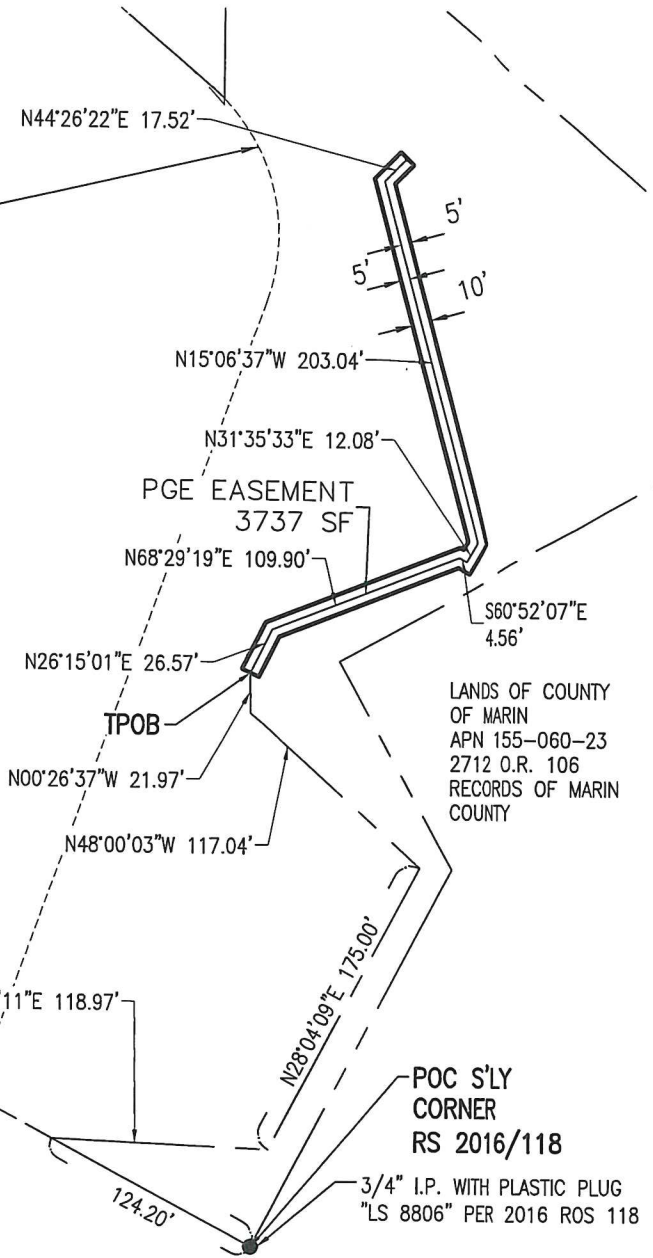
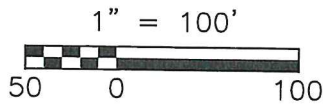
QUITCLAIM DEED  
REC. 8/20/81  
DN 81037581 O.R.  
MARIN COUNTY RECORDS

PARCEL TWO LANDS OF COUNTY  
OF MARIN BOOK 2799 PAGE 361  
INST.19470 REC. 5/31/74 O.R.  
MARIN COUNTY RECORDS  
APN 155-121-13



5/22/20

THE BASIS OF BEARINGS FOR THE HEREIN  
DESCRIBED LEGAL DESCRIPTION IS TAKEN  
FROM DATA SHOWN ON THAT CERTAIN  
RECORD OF SURVEY FILED IN BOOK 17  
OF SURVEYS AT PAGE 57, MARIN COUNTY  
RECORDS.



LANDS OF COUNTY  
OF MARIN  
APN 155-060-23  
2712 O.R. 106  
RECORDS OF MARIN  
COUNTY

RANCHO SAN PEDRO, SANTA MARGARITA Y LAS GALLINAS

(M.D.M. T2N R5W SEC. 15 SE 1/4 OF NW 1/4)

**A L B E R T A .**  
**WEBB**  
**A S S O C I A T E S**

**P G & E**

G:\2015\15-0154\Drawings\Mapping\PLATS N LEGALS\REVISED PGE ALR\15-154 PGE ESMT COUNTY.dwg

THIS PLAT IS SOLELY AN AID IN LOCATING THE PARCEL(S) IN THE ATTACHED DOCUMENT.  
ALL PRIMARY CALLS ARE LOCATED IN THE WRITTEN DOCUMENT.

SHEET 1 OF 1

W.O.  
15-0154

SCALE: 1"=100'

DRWN BY ALR  
CHKD BY MJ

DATE 12/17/19  
DATE 12/17/19

SUBJECT: **PGE EASEMENT**



# EXHIBIT "I"

FOR REFERENCE PURPOSES ONLY

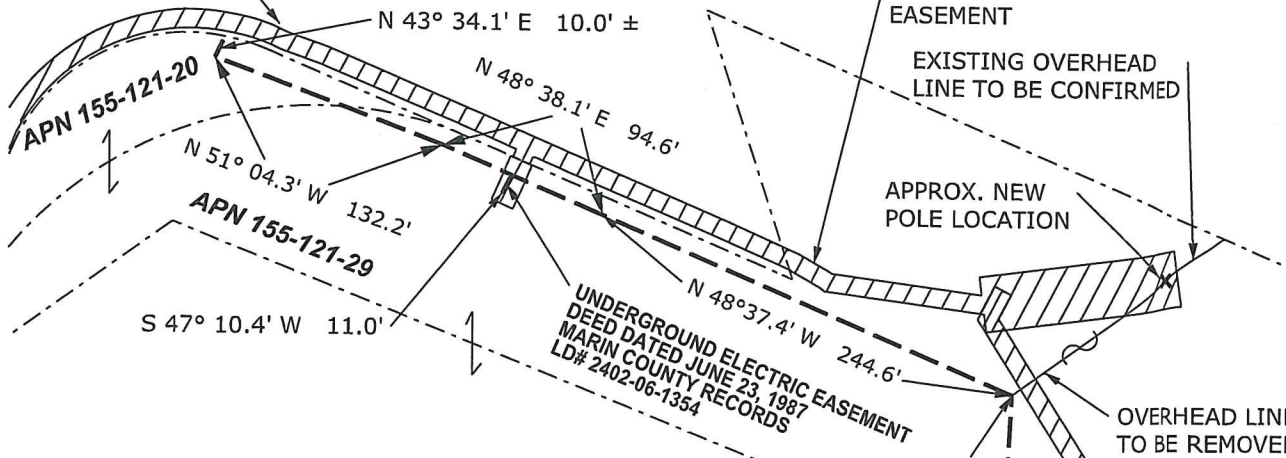
NEW ELECTRIC EASEMENT

NEW ELECTRIC EASEMENT

EXISTING OVERHEAD LINE TO BE CONFIRMED

APPROX. NEW POLE LOCATION

OVERHEAD LINE TO BE REMOVED



Lands of Las Gallinas Valley Sanitary District  
2016 ROS 118  
1212 O.R. 13  
Marin County Records

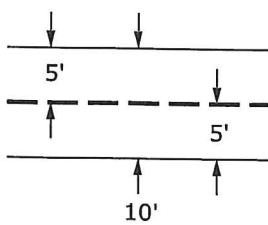
APN 155-121-27

### LEGEND

--- OVERHEAD ELECTRIC EASEMENT  
DEED DATED JUNE 23, 1987  
MARIN COUNTY RECORDS  
LD# 2402-06-1354

### UNDERGROUND ELECTRIC EASEMENT STRIP DETAIL

NOT TO SCALE



N 61° 00' 08'' W 153.01'  
EXISTING PG&E EASEMENT  
LD# 2402-06-1497

UNLESS OTHERWISE SHOWN ALL COURSES  
EXTEND TO OR ALONG BOUNDARIES OR LINES

**RANCHO SAN PEDRO, SANTA MARGARITA Y LAS GALLINAS**

Applicant:

300 SMITH RANCH ROAD, SAN RAFAEL - ELEC. QUITCLAIM

SCALE

N/A

DATE

4/29/20

SECTION (SE/NW/15)	TOWNSHIP (2N)	RANGE (6W)	MERIDIAN (MDM)	COUNTY OF: MARIN	CITY OF: SAN RAFAEL
PLAT MAP: SS3301, RR33				F.B.:	DR.BY: CWJ6 CH.BY: DAK8
REFERENCES: LD 2402-06-1354				2016 ROS 118	PG&E NORTH COAST DIVISION
				31495348	31495348
				AUTHORIZ	DRAWING NO.

**Pacific Gas and Electric Company**



**EXHIBIT "J"**

**GRANT OF EASEMENT DISCLOSURE STATEMENT**

This Disclosure Statement will assist you in evaluating the request for granting an easement to Pacific Gas and Electric Company (PG&E) to accommodate a utility service extension to PG&E's applicant. **Please read this disclosure carefully before signing the Grant of Easement.**

- You are under no obligation or threat of condemnation by PG&E to grant this easement.
- The granting of this easement is an accommodation to PG&E's applicant requesting the extension of PG&E utility facilities to the applicant's property or project. Because this easement is an accommodation for a service extension to a single customer or group of customers, PG&E is not authorized to purchase any such easement.
- By granting this easement to PG&E, the easement area may be used to serve additional customers in the area and **may be used to install additional utility facilities**. Installation of any proposed facilities outside of this easement area will require an additional easement.
- Removal and/or pruning of trees or other vegetation on your property may be necessary for the installation of PG&E facilities. You have the option of having PG&E's contractors perform this work on your property, if available, or granting permission to PG&E's applicant or the applicant's contractor to perform this work. Additionally, in order to comply with California fire laws and safety orders, PG&E or its contractors will periodically perform vegetation maintenance activities on your property as provided for in this grant of easement in order to maintain proper clearances from energized electric lines or other facilities.
- The description of the easement location where PG&E utility facilities are to be installed across your property must be satisfactory to you.
- The California Public Utilities Commission has authorized PG&E's applicant to perform the installation of certain utility facilities for utility service. In addition to granting this easement to PG&E, your consent may be requested by the applicant, or applicant's contractor, to work on your property. Upon completion of the applicant's installation, the utility facilities will be inspected by PG&E. When the facility installation is determined to be acceptable the facilities will be conveyed to PG&E by its applicant.

By signing the Grant of Easement, you are acknowledging that you have read this disclosure and understand that you are voluntarily granting the easement to PG&E. Please return the signed and notarized Grant of Easement with this Disclosure Statement attached to PG&E. The duplicate copy of the Grant of Easement and this Disclosure Statement is for your records.

Utility Distribution Easement (02/2020)

Attach to LD: 2402-06-10105

Area, Region or Location: 7

Land Service Office: Santa Rosa

Line of Business: Electric Distribution (43)

Business Doc Type: Easements

MTRSQ: (24.02.06.15.42), San Pedro Santa Margarita Y Las Gallinas

FERC License Number: N/A

PG&E Drawing Number: N/A

Plat No.: RR33, SS3301

LD of Affected Documents: 2402-06-1354

LD of Cross Referenced Documents: 2402-06-1497

Type of interest: Electric Pole Line Easements (3), Electric Underground Easements (4)

SBE Parcel: N/A

% Being Quitclaimed: N/A

Order or PM: 35110428

JCN: N/A

County: Marin

Utility Notice Number: N/A

851 Approval Application No: N/A ;Decision: N/A

Prepared By: CWJ6

Checked By: DAK8 *DK*

Approved By:

Revised by:

\\SANTAROSA02\SarHQShared\GenlSvcs\Land\R\_W 2019\Marin\35110428 - 35077093 - 300 Smith Ranch Rd, Novato\Working Files